

AGENDA
ESCAMBIA COUNTY BOARD OF ADJUSTMENT
October 19, 2011–8:30 a.m.
Escambia County Central Office Complex
3363 West Park Place, Room 104

1. Call to Order.
2. Swearing in of Staff and acceptance of staff as expert witness
3. Acceptance of the BOA Meeting Package with the Development Services Staff Findings-of-Fact, into evidence.
4. Proof of Publication and waive the reading of the legal advertisement.
5. Approval of September 21, 2011 Resume.
6. **Consideration of the following cases:**

A. Case No.: V-2011-12

Location: 8198 Untreiner Ave

Request: Variance to signage

Requested by: James Campbell, Agent for Damascus Road Missionary Baptist Church

B. Case No.: V-2011-13

Location: 1218 Wings Way

Request: Variance to side setback

Requested by: Timothy J. Godwin, Agent for Gulf Advance Construction, Inc., Owner

C. Case No.: CU-2011-09

Location: N. Hwy. 29

Request: Commercial communications tower greater than 150 ft. in height

Requested by: John F. Lateulere, III for Atwell Agent for Christine T. Marks, Owner

D. Case No.: CU-2011-11

Location: 9100 Eight Mile Creek Rd.
Request: Recreational Facility in R-1 zoning
Requested by: T. A. Borowski, Jr. Agent for East Hill Christian School, Owners

E. Case No.: CU-2011-12

Location: 308 and 320 Massachusetts Ave.
Request: Used Auto Sales in C-1 zoning
Requested by: Phillip Pugh, Jr., Agent for Jerrell L. Gorum, II, Jerrll L. Gorum, Sr., Marlon E. Gorum and Shirley L. Gorum, Owners

F. Case No.: CU-2011-13

Location: 1062 & 1072 Sawyer St
Request: Allow an expansion of an existing church facility in R-2 zoning
Requested by: Paul L. Jones, Sr., Agent for Freewill Ministries, Owners

7. Discussion Items.

8. Old/New Business.

9. Announcement.

The next Board of Adjustment Meeting is scheduled for Wednesday, November 16, 2011 at 8:30 a.m., at the Escambia County Central Office Complex, Room104, 3363 West Park Place.

10. Adjournment.

AI-1625

Item #: 5.

Board of Adjustment

Meeting

10/19/2011

Date:

Attachments

9-21-11 Resume

RESUME OF THE MEETING OF THE BOARD OF ADJUSTMENT
HELD SEPTEMBER 21, 2011

CENTRAL OFFICE COMPLEX
3363 WEST PARK PLACE, BOARD CHAMBERS
PENSACOLA, FLORIDA
(8:30 A.M. – 10:57 A.M.)

MEMBERS

PRESENT: Don Carlos, Chairman
David Karasek
John N. Lund
Bobby Price, Jr.
LuTimothy May (arrived – 8:37 a.m.) (left meeting @ 10:27 a.m.)

MEMBERS

ABSENT: Auby Smith, Vice Chairman
Jennifer Rigby

STAFF

PRESENT: Kristin Hual, Assistant County Attorney
Horace Jones, Division Manager, Planning & Zoning
Andrew Holmer, Senior Planner, Planning & Zoning
John Fisher, Urban Planner II, Planning & Zoning
Barbara Winns, Urban Planner II, Planning & Zoning
Karen S. Spitsbergen, Sr. OA, Planning & Zoning

REGULAR BOA AGENDA

1. The meeting was called to order at 8:30 a.m. Regular order of service followed with 4 members present a quorum was established.
2. **Swearing in of Staff** – Clerk swore in staff.
3. Proof of Publication was given by Board Clerk.
4. The Board entertained a motion to accept the BOA Agenda Package and the Development Services Staff's Findings-of-Fact for the September 21, 2011 BOA Meeting into evidence. Price made the motion to accept. Karasek seconded, and the motion was **approved** unanimously (4-0).
5. Approval of the resume of the Board of Adjustment meeting held on August 17, 2011.

Price made the motion to approve the resume of the August 17, 2011 Board of Adjustment meeting. Karasek seconded and the motion was **approved** unanimously (4-0).

6. **Consideration of the following cases:**

A. V-2011-08. 8000 N Davis Hwy. Variance request for billboard height. Property located in C-1/MU-U. Property Reference No.: 18-1S-30-4111-000-002. Requested by: Michael Crawley, Agent for Bill Salter Advertising, Owners.

For the Record:

- a. No BOA member acknowledged any ex partè communication regarding this item.
- b. Lund acknowledged visiting the site.
- c. No BOA member refrained from voting on this matter due to any conflict of interest.

Speakers:

Michael Crawley – PO Box 761, Milton, Florida

BOA Decision:

The Board adopted Staff's findings and approved the variance request to allow a billboard along an arterial road to be 46 feet tall rather than the maximum 35 foot requirement.

Motion to approve the request was made by May. Lund seconded and the motion was **approved** unanimously (5-0).

- B. V-2011-09.** 8510 Beulah Road. Variance request to allow a 6 foot chain link fence in the front yard. Property located in RR/MU-S. Property Reference No.: 08-1S-31-3203-000-000. Requested by: Dr. Pamela L. Morgan, Owner.

For the Record:

- a. No BOA member acknowledged any ex partè communication regarding this item.
- b. No BOA member acknowledged visiting the site.
- c. No BOA member refrained from voting on this matter due to any conflict of interest.

Speakers:

Pamela Morgan – 8510 Beulah Rd., Pensacola, FL
Paul Morgan – 8510 Beulah Rd., Pensacola, FL
Allan Garrett – 8470 Beulah Rd., Pensacola, FL
Wantana Leitch – 6363 Tisdale Ln., Pensacola, FL

BOA Decision:

The Board adopted Staff's findings and approved the variance request.

Motion to approve the request was made by May. Karasek seconded and the motion was **approved** (4-1) with Price opposed.

- C. V-2011-10.** 7171 N. Davis Hwy. Variance request to allow a 6 foot chain link fence in the front yard. Property located in RR/MU-S. Property Reference No.: 08-1S-31-3203-000-000. Requested by: Dr. Pamela L. Morgan, Owner.

For the Record:

- a. No BOA member acknowledged any ex partè communication regarding this item.
- b. No BOA member acknowledged visiting the site.
- c. No BOA member refrained from voting on this matter due to any conflict of interest.

Speakers:

Pamela Morgan – 8510 Beulah Rd., Pensacola, FL
Paul Morgan – 8510 Beulah Rd., Pensacola, FL
Allan Garrett – 8470 Beulah Rd., Pensacola, FL
Wantana Leitch – 6363 Tisdale Ln., Pensacola, FL

BOA Decision:

The Board adopted Staff's findings and approved the variance request.

Motion to approve the request was made by May. Karasek seconded and the motion was approved (4-1) with Price opposed.

7. Discussion Items.

None

8. Old/New Business.

None

9. Announcement.

The Board of Adjustment Meeting is scheduled for Wednesday, October 19, 2011 at 8:30 a.m. at the Escambia County Central Office Complex, Room 104, 3363 West Park Place.

10. Adjournment.

Meeting adjourned at 10:57 a.m.

**Corrections made after the October 19, 2011 BOA Meeting **

AI-1529

Item #: 6.

Board of Adjustment

Meeting

Date: 10/19/2011

Attachments

V-2011-12

V-2011-12



DEVELOPMENT SERVICES STAFF FINDINGS-OF-FACT

Variance Case: V-2011-12
October 19, 2011

I SUBMISSION DATA

APPLICANT: James Campbell, Agent for
Damascus Road Baptist Church

PROJECT ADDRESS: 8198 Untreiner Avenue

PROPERTY REFERENCE NO.: 22-1S-30-3201-001-002

ZONING DISTRICT: R-2, Single-Family District

FUTURE LAND USE: MU-U, Mixed Use Urban

II REQUESTED VARIANCE:

The applicant is seeking a 4.7 foot variance to the allowable maximum area for freestanding signs.

III RELEVANT AUTHORITY:

Land Development Code of Escambia County, Florida (Ordinance No. 96-3 as amended), Section: 8.07.01.A

A. *Nonresidential uses.* Includes houses of worship, educational institution, library, community center and civic organization and other permitted nonresidential uses. (Note: Home occupations are accessory to the principal activity and signage is specifically not allowed, see section 6.03.01.B.1 [sic] of this article.)

Permitted signs are:

One sign:
Area maximum, freestanding . . . 32 sq. ft.

IV CRITERIA

Land Development Code of Escambia County, Florida (Ordinance No. 96-3 as amended), Section 6.05.05.F.5

CRITERION A

That there are special circumstances or conditions applicable to the building or land in question that are peculiar to such property that do not apply generally to other land or buildings in the vicinity.

FINDINGS-OF-FACT

Section 2.05.02 of the Land Development Code defines special circumstances or conditions specifically as follows: "Such special conditions shall be limited to unusual physical characteristics inherent in the specific piece of property and not common to properties similarly situated. Such physical characteristics include, but are not limited to, exceptional narrowness, shallowness, shape, topographic conditions, or the presence of sensitive environmental resources, any or all of which will result in peculiar or in the quiet enjoyment and use of the property".

The size, shape, orientation and use of this parcel is unique for the area. The LDC sign limitation for this zoning presents a practical difficulty given the use of the land.

CRITERION B

That the variance is necessary for the preservation and enjoyment of a substantial property right and not merely to serve as a convenience to the Applicant.

FINDINGS-OF-FACT

The variance is necessary for the preservation and enjoyment of a substantial property right given the unique use of the land.

CRITERION C

That such a variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, the danger of fire, imperil the public safety, unreasonably diminish or impair established property values within the surrounding area or in any other respect impair the health, safety, comfort, or general welfare of the inhabitants of Escambia County.

FINDINGS-OF-FACT

This variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, the danger

of fire, imperil the public safety, unreasonably diminish or impair established property values within the surrounding area, or in any other respect impair the health, safety, comfort, or general welfare of the inhabitants of Escambia County.

CRITERION D

The variance will not, in any manner, alter other provisions of this Code or Comprehensive Plan.

FINDINGS-OF-FACT

This variance will not alter other provisions of the Land Development Code or Comprehensive Plan.

CRITERION E

That the variance is the minimum necessary to make possible the use of the land, building or other improvements as approved by the BOA.

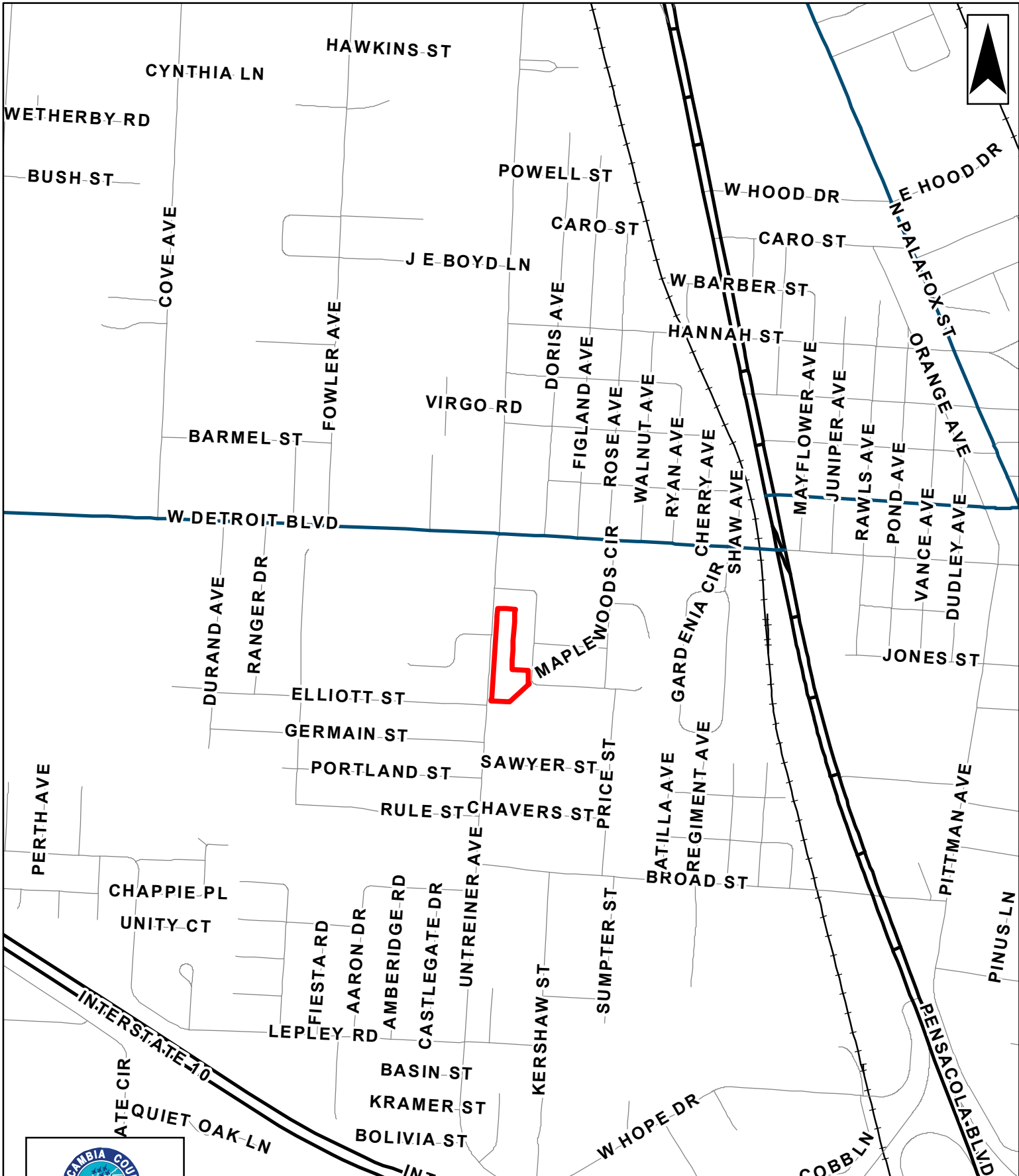
FINDINGS-OF-FACT

Given the unique use and attributes of the site, the requested variance is necessary to match the size and scale of the property and building.

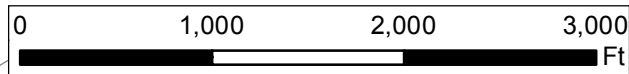
V RECOMMENDATION:

Section 2.05.02 of the LDC specifies, "No variance shall be authorized under this provision unless the BOA finds that all of the required conditions exist."

Based on the facts as presented, staff recommends approval of the variance as requested by the applicant. Should the variance be granted, the applicant will need to obtain a sign permit.



V-2011-12 LOCATION MAP



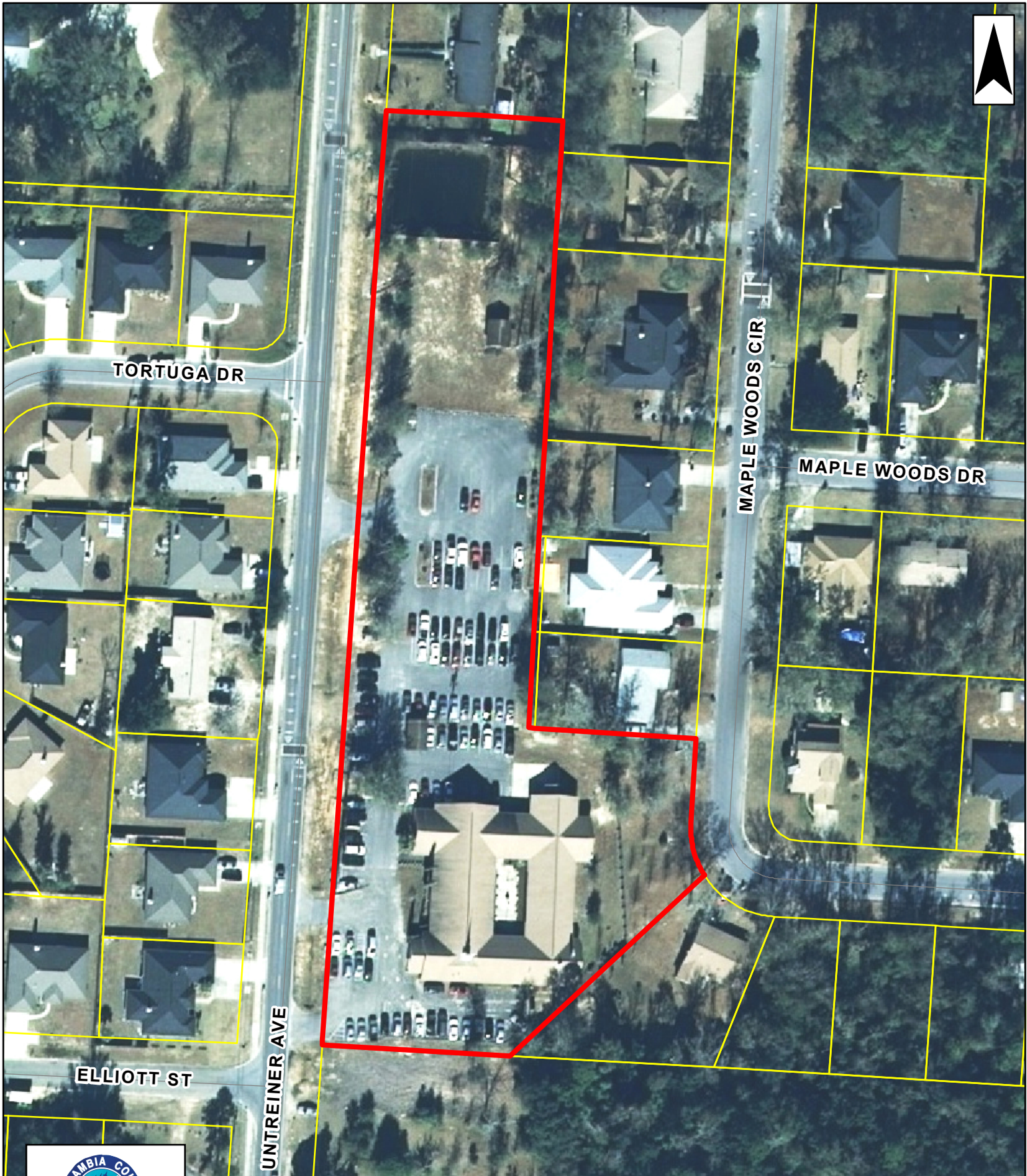
- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD
- RAILROAD



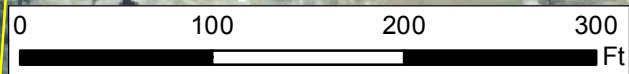
This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

DANNY WAY



V-2011-12 LOCATION MAP



- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD
- RAILROAD
- PARCELS



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.



W.DETROIT-BLVD

MU-U

MU-U

TORTUGA DR

MAPLE WOODS DR

MAPLE WOODS CIR

UNTRAINER AVE

MAPLE WOODS CIR

ELLIOTT ST

MU-U

GERMAIN ST

PRICE ST

MU-U

SAWYER ST

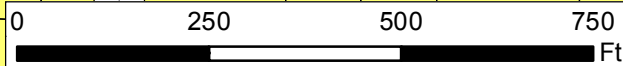
PORTLAND ST



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Andrew Holmer
Planning and Zoning Dept.

V-2011-12 FUTURE LAND USE



- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD
- PARCELS



W DETROIT BLVD

C-2

C-2

R-2

TORTUGA DR

R-2

MAPLE WOODS DR

MAPLE WOODS CIR

UNTRAINER AVE

MAPLE WOODS CIR

ELLIOTT ST

R-2

GERMAIN ST

PRICE ST

R-5

SAWYER ST

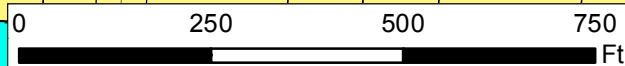
PORTLAND ST



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

V-2011-12 500 RADIUS ZONING



- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD
- ▭ PARCELS

Dear Board of Adjustment members,

We, Damascus Road Missionary Baptist church, are requesting a variance of Section 2.05.02 of the Escambia County Land Development Code. We are asking for the variance based on the following criteria:

- 1) The special circumstances that apply to and that are peculiar to our building is that our building is a church set on a wide piece of property. The property size as well as the property's purpose differentiates it from all surrounding properties.
- 2) As said building is a church it is necessary for us to have signage to allow us to fully utilize the building under its designated purpose. Our building also serves as a polling location in election years, a hurricane/tornado shelter, and occasionally a staging location for the Clean Sweep program; hence the building needs to be clearly identified. Additionally, our signage would be of service to our community by providing information directly related to the aforementioned events.
- 3) The authorization of the variance will in no way impair adequate light or air to adjacent properties, will not unreasonably increase congestion, create a fire hazard, diminish property values, or affect the health or safety of Escambia county residents.
- 4) We have no knowledge that the requested variance will alter any other provisions of the Land Development Code.
- 5) Allowing this variance for the signage is the minimal change or adjustment necessary for the church to have signage to let the community know its location and to provide pertinent information concerning activities and events that may affect said community.

The signage and the request for this variance are designed to benefit the church and the community that we are dedicated to serve.

Respectfully,

Damascus Road Missionary Baptist Church

James Campbell

9/22/2011



Brenda L Wilson

APPLICATION

Please check application type:

Administrative Appeal

Development Order Extension

Conditional Use Request for: _____

Variance Request for: Sign for Damascus Road Baptist Church

Rezoning Request from: _____ to: _____

Name & address of current owner(s) as shown on public records of Escambia County, FL

Owner(s) Name: Damascus Road Baptist Church Phone: 850.479.1516

Address: 8198 Untreiner Avenue, Pensacola, FL 32534 Email: _____

Check here if the property owner(s) is authorizing an agent as the applicant and complete the Affidavit of Owner and Limited Power of Attorney form attached herein.

Property Address: 8198 Untreiner Avenue, Pensacola, FL 32534

Property Reference Number(s)/Legal Description: 221S303201001002 (See attachment for Legal Description)

By my signature, I hereby certify that:

- 1) I am duly qualified as owner(s) or authorized agent to make such application, this application is of my own choosing, and staff has explained all procedures relating to this request; and
- 2) All information given is accurate to the best of my knowledge and belief, and I understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application; and
- 3) I understand that there are no guarantees as to the outcome of this request, and that the application fee is non-refundable; and
- 4) I authorize County staff to enter upon the property referenced herein at any reasonable time for purposes of site inspection and authorize placement of a public notice sign(s) on the property referenced herein at a location(s) to be determined by County staff; and
- 5) I am aware that Public Hearing notices (legal ad and/or postcards) for the request shall be provided by the Development Services Bureau.

James Campbell
Signature of Owner/Agent

James Campbell
Printed Name Owner/Agent

9/23/2011
Date

Signature of Owner

Printed Name of Owner

Date

STATE OF Florida

COUNTY OF Escambia

The foregoing instrument was acknowledged before me this 23rd day of September 20 11.

by _____

Personally Known OR Produced Identification . Type of Identification Produced: _____

Brenda L Wilson
Signature of Notary
(notary seal must be affixed)

Brenda L Wilson
Printed Name of Notary



FOR OFFICE USE ONLY

CASE NUMBER: V-2011-12

Meeting Date(s): 10-19-11

Accepted/Verified by: ADH/KJA

Date: 9/22/11

Fees Paid: \$ 350

Receipt #: _____

Permit #: PBA 1109 00024

AFFIDAVIT OF OWNER AND LIMITED POWER OF ATTORNEY

As owner of the property located at Damascus Road Baptist Church,
Florida, property reference number(s) 221S303201001002

I hereby designate James Campbell for the sole purpose
of completing this application and making a presentation to the:

- Planning Board and the Board of County Commissioners to request a rezoning on the above
referenced property.
- Board of Adjustment to request a(n) _____ on the above referenced property.

This Limited Power of Attorney is granted on this 14th day of September the year of,
2011, and is effective until the Board of County Commissioners or the Board of Adjustment has
rendered a decision on this request and any appeal period has expired. The owner reserves the right to
rescind this Limited Power of Attorney at any time with a written, notarized notice to the Development
Services Bureau.

Agent Name: James Campbell Email: _____
Address: 1207 Portland Street, Pensacola, FL 32534 Phone: 850.477.8693

Claude McCants
Signature of Property Owner

Claude McCants
Printed Name of Property Owner

14-SEP-2011
Date

Signature of Property Owner

Printed Name of Property Owner

Date

STATE OF Florida COUNTY OF Escambia

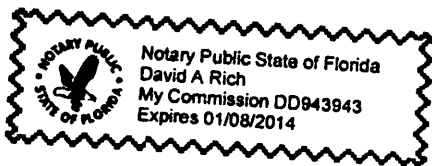
The foregoing instrument was acknowledged before me this 14th day of September 20 11,
by Claude McCants.

Personally Known OR Produced Identification . Type of Identification Produced: _____

David A. Rich
Signature of Notary

David A. Rich
Printed Name of Notary

(Notary Seal)



AFFIDAVIT OF OWNER AND LIMITED POWER OF ATTORNEY

As owner of the property located at Damascus Road Baptist Church,
Florida, property reference number(s) 221S303201001002

I hereby designate James Campbell for the sole purpose
of completing this application and making a presentation to the:

- Planning Board and the Board of County Commissioners to request a rezoning on the above
referenced property.
- Board of Adjustment to request a(n) _____ on the above referenced property.

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rendered a decision on this request and any appeal period has expired. The owner reserves the right to
rescind this Limited Power of Attorney at any time with a written, notarized notice to the Development
Services Bureau.

Agent Name: James Campbell Email: _____

Address: 1207 Portland Street, Pensacola, FL 32534 Phone: 850.477.8693

Alan S Herbert Alan Herbert 9/14/11
Signature of Property Owner Printed Name of Property Owner Date

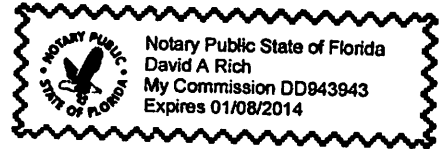
Signature of Property Owner Printed Name of Property Owner Date

STATE OF Florida COUNTY OF Escambia

The foregoing instrument was acknowledged before me this 14th day of September 2011
by Alan Herbert

Personally Known OR Produced Identification . Type of Identification Produced: _____

David A. Rich David A. Rich (Notary Seal)
Signature of Notary Printed Name of Notary



AFFIDAVIT OF OWNER AND LIMITED POWER OF ATTORNEY

As owner of the property located at Damascus Road Baptist Church,
Florida, property reference number(s) 221S303201001002

I hereby designate James Campbell for the sole purpose
of completing this application and making a presentation to the:

Planning Board and the Board of County Commissioners to request a rezoning on the above
referenced property.

Board of Adjustment to request a(n) _____ on the above referenced property.

This Limited Power of Attorney is granted on this 14th day of September the year of,
2011, and is effective until the Board of County Commissioners or the Board of Adjustment has
rendered a decision on this request and any appeal period has expired. The owner reserves the right to
rescind this Limited Power of Attorney at any time with a written, notarized notice to the Development
Services Bureau.

Agent Name: James Campbell Email: _____

Address: 1207 Portland Street, Pensacola, FL 32534 Phone: 850.477.8693

Ewell Howard
Signature of Property Owner

Ewell Howard
Printed Name of Property Owner

9-14-11
Date

Signature of Property Owner

Printed Name of Property Owner

Date

STATE OF Florida

COUNTY OF Escambia

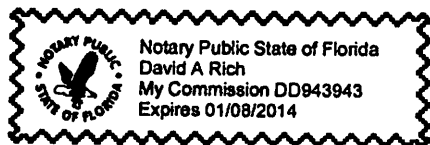
The foregoing instrument was acknowledged before me this 14th day of September 2011
by Ewell Howard.

Personally Known OR Produced Identification . Type of Identification Produced: _____

David A Rich
Signature of Notary

David Rich
Printed Name of Notary

(Notary Seal)



Legal Description of Damascus Road Baptist Church

221S303201001002

BEG AT NW COR OF SEC SLY ALG W LI OF SEC 17 18/100 FT S 88 DEG 26 MIN 22 SEC E 43 8/100 FT TO INTER OF S R/W LI OF DETROIT BLVD & E R/W LI OF UNTREINER AVE (66 FT R/W) S 1 DEG 59 MIN 27 SEC W ALG E R/W LI 560 45/100 FT TO SW COR OF LT 1 BLK D MAPLE WOODS S/D PB 11 P 98 FOR POB S 88 DEG 23 MIN 10 SEC E 142 45/100 FT TO SE COR OF LT 2 BLK D MAPLE WOODS S/D S 1 DEG 36 MIN 50 SEC W ALG W LI OF BLK D 730 FT TO SW COR OF MAPLE WOODS S/D N 88 DEG 23 MIN 10 SEC W 147 25/100 FT TO E R/W LI OF UNTREINER AVE N 1 DEG 59 MIN 27 SEC E ALG E R/W LI 730 FT TO POB ALSO LTS 11 & 12 BLK D MAPLE WOODS S/D PB 11 P 98 OR 2241 P 159 OR 3075 P 36 OR 3110 P 182

2011 NOT-FOR-PROFIT CORPORATION ANNUAL REPORT

**FILED
Mar 18, 2011
Secretary of State**

DOCUMENT# N07450

Entity Name: DAMASCUS ROAD BAPTIST CHURCH, INC.

Current Principal Place of Business:

8198 UNTREINER AVE.
PENSACOLA, FL 325343550

New Principal Place of Business:

Current Mailing Address:

8198 UNTREINER AVE.
PENSACOLA, FL 325343550

New Mailing Address:

FEI Number: 59-2924555 **FEI Number Applied For ()** **FEI Number Not Applicable ()** **Certificate of Status Desired ()**

Name and Address of Current Registered Agent:

CAMPELL, JAMES
1207 PORTLAND STREET
PENSACOLA, FL 32534 US

Name and Address of New Registered Agent:

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE:

Electronic Signature of Registered Agent

Date

OFFICERS AND DIRECTORS:

Title: D
Name: MCCANTS, CLAUDE
Address: 1207 RULE ST
City-St-Zip: PENSACOLA, FL 32534

Title: D
Name: CAMPBELL, JAMES
Address: 1207 PORTLAND ST
City-St-Zip: PENSACOLA, FL 32534

Title: D
Name: LEWIS, SAMMIE E.
Address: 695 BROAD STREET
City-St-Zip: PENSACOLA, FL

Title: SD
Name: HERBERT, ALLAN
Address: 1364 PORTLAND ST.
City-St-Zip: PENSACOLA, FL

Title: D
Name: HOWARD, EWELL
Address: 7855 HERRINGTON
City-St-Zip: PENSACOLA, FL

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am an officer or director of the corporation or the receiver or trustee empowered to execute this report as required by Chapter 617, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.

SIGNATURE: JAMES CAMPBELL

D

03/18/2011

Electronic Signature of Signing Officer or Director

Date

DAMASCUS ROAD BAPTIST CHURCH

SUNDAY SCHOOL: 9:30 a.m.
WORSHIP SERVICE: 11:00 a.m.
PASTOR: EARL F. JACKSON

REVIVAL TIME.

WED - JULY 27 → 29 AT 6 PM.

LECTURER DR. MICHAEL JOHNSON

SPEAKER DR. LARRY MILLS



DATE 7-22-11 GRAPHIC DESIGNER CJC

This drawing is an original. It must not be copied, altered or transferred by any method and remains the sole property of George Markham & Sons Signs.

DUE TO LIMITATIONS OF THE PAPER AND INK PRINTING PROCESS, THIS ARTWORK IS NOT INTENDED TO PROVIDE AN EXACT MATCH BETWEEN INK, VINYL OR PAINT.

George **MARKHAM & SONS**
433-3032 *OVER 200 YEARS OF KNOW HOW* 438-4529
1401 BARRANCA'S AVE. AT "G" PENSACOLA, FL 32501

APPROVAL SIGNATURE _____

APPROVAL DATE _____

AI-1530

Item #: 6.

Board of Adjustment

Meeting

10/19/2011

Date:

V-2011-13

Attachments

V-2011-13



DEVELOPMENT SERVICES STAFF FINDINGS-OF-FACT

Variance Case: V-2011-13
October 19, 2011

I SUBMISSION DATA

APPLICANT: Todd J Godwin, Agent for Gulf Advanced Construction. Inc.

PROJECT ADDRESS: 1218 Wings Way

PROPERTY REFERENCE NO.: 22-1N-31-1403-060-004

ZONING DISTRICT: VR-2, Villages Residential-2

FUTURE LAND USE: MU-S, Mixed-Use Suburban

SUBDIVISION AND PLAT: Soaring S/D PB18, PG6

II REQUESTED VARIANCE:

The Applicant is seeking a variance to allow a four point two (4.2) foot northerly side yard setback. This site is a platted lot in a Planned Unit Development residential subdivision (PUD), and the setbacks are derived from the PUD, not the zoning district.

III RELEVANT AUTHORITY:

Land Development Code of Escambia County, Florida (Ordinance No. 96-3 as amended), Section: 6.06.00.C

6.06.00. Planned unit development (PUD).

C. Effect on height, area and bulk requirements and on yards, lot sizes and mix of uses. Use of the PUD process can result in the applicant establishing specific height, area, bulk, yard, size, use and mix provisions which may be different from the requirements contained in the several zoning districts within this article, in any or all respects.

IV CRITERIA

Land Development Code of Escambia County, Florida (Ordinance No. 96-3 as amended), Section 6.05.05.F.5

CRITERION A

That there are special circumstances or conditions applicable to the building or land in question that are peculiar to such property that do not apply generally to other land or buildings in the vicinity.

FINDINGS-OF-FACT

Section 2.05.02 of the Land Development Code defines special circumstances or conditions specifically as follows: "Such special conditions shall be limited to unusual physical characteristics inherent in the specific piece of property and not common to properties similarly situated. Such physical characteristics include, but are not limited to, exceptional narrowness, shallowness, shape, topographic conditions, or the presence of sensitive environmental resources, any or all of which will result in peculiar or in the quiet enjoyment and use of the property."

The property in question is unique in that it's the deepest lot in the subdivision, with the widest part at the bottom, bordering wetland and conservation buffers. This orientation presents practical difficulties in positioning the house as close to the road as other houses in the subdivision.

CRITERION B

That the variance is necessary for the preservation and enjoyment of a substantial property right and not merely to serve as a convenience to the Applicant.

FINDINGS-OF-FACT

Granting the proposed variance would allow the house to be positioned in the same manner as others in the neighborhood and would shift the structure as far as possible from the conservation and wetland areas.

CRITERION C

That such a variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, the danger of fire, imperil the public safety, unreasonably diminish or impair established property values within the surrounding area or in any other respect impair the health, safety, comfort, or general welfare of the inhabitants of Escambia County.

FINDINGS-OF-FACT

This variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, the danger of fire, imperil the public safety, unreasonably diminish or impair established property values within the surrounding area, or in any other respect impair the health, safety, comfort, or general welfare of the inhabitants of Escambia County.

CRITERION D

The variance will not, in any manner, alter other provisions of this Code or Comprehensive Plan.

FINDINGS-OF-FACT

This variance will not alter other provisions of the Land Development Code or Comprehensive Plan.

CRITERION E

That the variance is the minimum necessary to make possible the use of the land, building or other improvements as approved by the BOA.

FINDINGS-OF-FACT

Given the practical difficulties of orienting the house on the uniquely shaped lot, the variance is the minimum necessary for the house to be in its location.

V RECOMMENDATION:

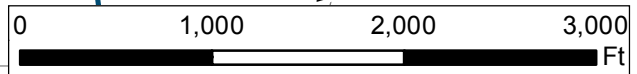
Section 2.05.02 of the LDC specifies, "No variance shall be authorized under this provision unless the BOA finds that all of the required conditions exist."





Staff finds that the Applicant can meet the required criteria and recommends approval of the variance as requested.




SITE

V-2011-13 LOCATION MAP



-  PRINCIPAL ARTERIAL
-  MINOR ARTERIAL
-  COLLECTOR
-  LOCAL ROAD



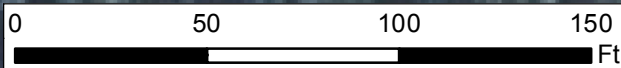
This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.






Andrew Holmer
Planning and Zoning Dept.



WINGS WAY

V-2011-13 AERIAL MAP



-  PRINCIPAL ARTERIAL
-  MINOR ARTERIAL
-  COLLECTOR
-  LOCAL ROAD
-  PARCELS



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.



MU-S

SOARING BLVD

WINGS WAY

MU-S

MU-S

MU-S



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

V-2011-13 FUTURE LAND USE



- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD
- PARCELS



P

P

P

VR-2

SOARING BLVD

WINGS WAY

VR-2

VR-2








This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

V-2011-13 500' RADIUS ZONING



-  PRINCIPAL ARTERIAL
-  MINOR ARTERIAL
-  COLLECTOR
-  LOCAL ROAD
-  PARCELS

September 26, 2011

Board of Adjustment
Escambia County Planning and Zoning
3363 West Park Place
Pensacola, FL 32505

Re: 1218 Wings Way (22-1N-31-1403-060-004)

To Whom It May Concern:

Please find our attached application wherein we request a variance to the above referenced property as detailed in the attached response to the variance criteria. Please call if you have any questions or require more information.

Sincerely,

Todd Godwin
Gulf Advance Construction, Inc.
3049 Whitley Lane
Pace, FL 32571

September 26, 2011

Board of Adjustment
Escambia County Planning and Zoning
3363 West Park Place
Pensacola, FL 32505

Re: Letter of Request, Variance Application for 8' setback

Project Location: 1218 Wings Way (22-1N-31-1403-060-004)

To Whom It May Concern:

1. The special circumstance or conditions applying to the building or land in question are peculiar to such property and do not apply generally to other land or buildings in the vicinity.
* This lot is unique as it is narrow in the front and wide at the rear. The county has granted a variance from 10' setback to an 8' setback. The architectural review board requested the building be placed as far forward as possible.
2. The variance is necessary for the preservation and enjoyment of a substantial property right as defined herein and not only to serve as a convenience to the applicant.
* The variance is necessary to avoid demolition and rebuilding of the home.
3. The authorization of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, the danger of fire, imperil the public safety, unreasonably diminish or impair established property values within the surrounding area or in any other respect impair the health, safety, comfort, or general welfare of the inhabitants of Escambia County
*The authorization of the variance will not impair or degrade the general welfare of the inhabitants of Escambia County.
4. The variance will not, in any manner, alter other provisions of this Code or the Comprehensive Plan, except this Code and the Plan may be amended in the manner prescribed by law.
* The variance will not alter the provisions of the code.
5. The variance is the minimum necessary to make possible the use of the land, building or other improvements as approved by the BOA.
* The variance is the minimum necessary to make possible the enjoyment of the home.

APPLICATION

Please check application type:
Administrative Appeal
Development Order Extension
Conditional Use Request for:
Variance Request for:
Rezoning Request from: to:

Name & address of current owner(s) as shown on public records of Escambia County, FL

Owner(s) Name: GULF ADVANCED CONST. Phone:

Address: 3049 WHITLEY LN Email:

Check here if the property owner(s) is authorizing an agent as the applicant and complete the Affidavit of Owner and Limited Power of Attorney form attached herein.

Property Address: 1218 WINGS WAY

Property Reference Number(s)/Legal Description: 22-1N-31-1A03-060-004

By my signature, I hereby certify that:

- 1) I am duly qualified as owner(s) or authorized agent to make such application, this application is of my own choosing, and staff has explained all procedures relating to this request; and
2) All information given is accurate to the best of my knowledge and belief, and I understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application; and
3) I understand that there are no guarantees as to the outcome of this request, and that the application fee is non-refundable; and
4) I authorize County staff to enter upon the property referenced herein at any reasonable time for purposes of site inspection and authorize placement of a public notice sign(s) on the property referenced herein at a location(s) to be determined by County staff; and
5) I am aware that Public Hearing notices (legal ad and/or postcards) for the request shall be provided by the Development Services Bureau.

Signature of Owner/Agent

Printed Name Owner/Agent: Todd Godwin

Date: 9/26/11

Signature of Owner

Printed Name of Owner

Date

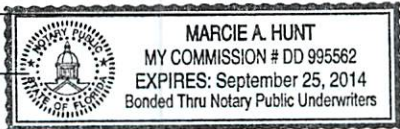
STATE OF Florida COUNTY OF Santa Rosa

The foregoing instrument was acknowledged before me this 26 day of September 20 11, by Todd Godwin

Personally Known OR Produced Identification. Type of Identification Produced:

Signature of Notary: Marcie A. Hunt

Printed Name of Notary: Marcie A Hunt



FOR OFFICE USE ONLY

CASE NUMBER: V-2011-13

Meeting Date(s): Oct. 19, 11 Accepted/Verified by: ADH/KSS Date: 9/27/11

Fees Paid: \$ 350.00 Receipt #: 541489 Permit #: PB A 110900026

AFFIDAVIT OF OWNER AND LIMITED POWER OF ATTORNEY

As owner of the property located at _____,

Florida, property reference number(s) _____

I hereby designate _____ for the sole purpose of completing this application and making a presentation to the:

Planning Board and the Board of County Commissioners to request a rezoning on the above referenced property.

Board of Adjustment to request a(n) _____ on the above referenced property.

This Limited Power of Attorney is granted on this _____ day of _____ the year of, _____, and is effective until the Board of County Commissioners or the Board of Adjustment has rendered a decision on this request and any appeal period has expired. The owner reserves the right to rescind this Limited Power of Attorney at any time with a written, notarized notice to the Development Services Bureau.

Agent Name: _____ Email: _____

Address: _____ Phone: _____



Signature of Property Owner

Todd Gordon

Printed Name of Property Owner

9/26/11

Date

Signature of Property Owner

Printed Name of Property Owner

Date

STATE OF Florida

COUNTY OF Santa Rosa

The foregoing instrument was acknowledged before me this 26 day of September 20 11,
by Todd Gordon.

Personally Known OR Produced Identification . Type of Identification Produced: _____

Marcie A. Hunt

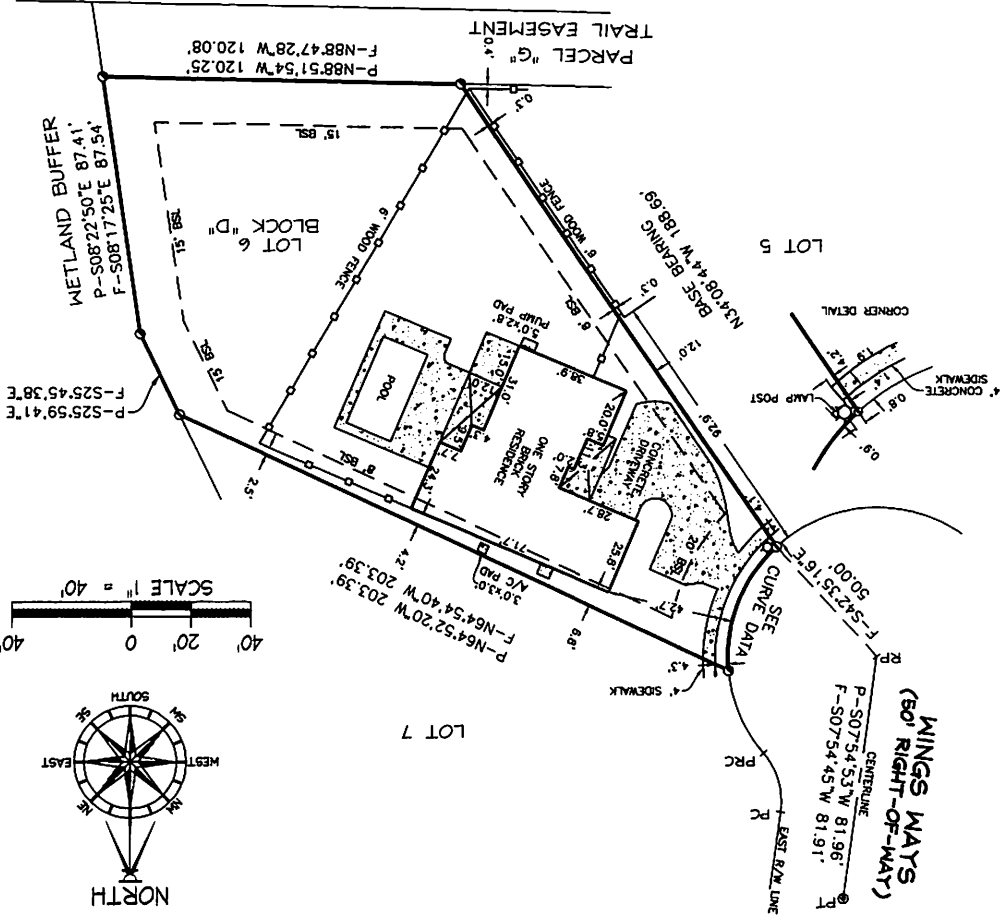
Signature of Notary

Marcie A. Hunt

Printed Name of Notary



CURVE DATA			
RADIUS	DELTA	LENGTH	CHORD
50.00	52.5410	46.17	44.54
50.00	52.4916	46.10	44.48
			N21.00.06 E



- LEGEND:
- ⊙ - FOUND 1/2" CAPPED IRON ROD #6763
 - ⊙ - FOUND 1/2" CAPPED IRON ROD #7107
 - ⊙ - FOUND NAIL & DISK #6763
 - B5L - BUILDING SETBACK LINE
 - R/W - RIGHT-OF-WAY
 - A/C - AIR CONDITIONER
 - RP - RADIUS POINT
 - PT - POINT OF TANGENCY
 - PC - POINT OF CURVATURE
 - PRC - POINT OF REVERSE CURVATURE
 - P - PLATED DIMENSION
 - F - FIELD MEASUREMENT

SURVEYOR'S NOTES:

- THIS SURVEY WAS PREPARED FOR THE CLIENT SHOWN AND IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT PRIOR CONSENT FROM THIS SURVEYOR.
- NO TITLE RESEARCH WAS PERFORMED BY THIS SURVEYOR. HER NAME BE FURNISHED WITH SUCH.
- NO INSTRUMENT OR RECORD REFLECTING EASEMENTS, RIGHT-OF-WAY, AND/OR OWNERSHIP HEREIN FURNISHED TO THIS SURVEYOR EXCEPT AS SHOWN.
- ALL BEARINGS AND DISTANCES ARE RECORDED UNLESS OTHERWISE NOTED.
- NO ENCUMBRANCE OR RESTRICTIONS HAVE BEEN LOCATED EXCEPT AS SHOWN.
- THERE MAY BE ADDITIONAL RESTRICTIONS AFFECTING THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA THAT DO NOT APPEAR ON THIS PLAT.
- BASIS OF BEARING: SOUTHERLY LINE OF LOT 6 AS INDICATED.
- REFERENCE SOURCE: FIELD WORK AND EXISTING FIELD MEASUREMENT, COPY OF PLAT OF SQUARE, PLAT BOOK 18, PAGE 6, AS INDICATED.
- ENCUMBRANCES ARE AS SHOWN.
- IT IS THE OPINION OF THE UNDERSIGNED SURVEYOR THAT THE PARCELS OF LAND SHOWN HEREIN AS PER THE FLOOD INSURANCE RATE MAP INFORMATION AS FOLLOWS:
- ZONE: "A"
- ELEVATION: N/A
- PAID: NUMBER 0000 000 6
- AS DATED: SEPTEMBER 29, 2006

- THE CERTIFICATE OF AUTHORIZATION NUMBER FOR KJM SURVEYING, INC., IS LB. 707.

DESCRIPTION:
LOT 6, BLOCK D, SOARING, A PLANNED UNIT DEVELOPMENT SUBDIVISION OF A PORTION OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA AS RECORDED IN PLAT BOOK 18, PAGE 6 OF THE PUBLIC RECORDS OF SAID COUNTY.

ADDRESS: 1218 WINGS WAY
REQUESTED BY: STEVE WINTON
TYPE: BOUNDARY SURVEY WITH IMPROVEMENTS
SECTION 22, TOWNSHIP 1 - NORTH, RANGE 31 - WEST, ESCAMBIA COUNTY

NO.	DATE	REVISION
1	02/07/11	REVISION: CHECK-CALC., P.S. - 881, PG.-6, DATE 02/07/11, JSP
2	02/07/11	FINAL SURVEY, CHECK-CALC., P.S. - 881, PG.-23-28, DATE 02/07/11, JSP
3	02/07/11	REVISED ATTACHED ACCORDS TO PERMIT REQUIREMENT 02/07/11 - JSP

APPROVED BY: _____

DATE: 02/19/09

SCALE: 1"=40'

FIELD BOOK	PAGE	FIELD DATE	DRAWN BY
526	CB/CJ	02/19/09	JSP

SECTION 22, TOWNSHIP 1 - NORTH, RANGE 31 - WEST, ESCAMBIA COUNTY

REVISIONS:

NO.	DATE	REVISION
1	02/07/11	REVISION: CHECK-CALC., P.S. - 881, PG.-6, DATE 02/07/11, JSP
2	02/07/11	FINAL SURVEY, CHECK-CALC., P.S. - 881, PG.-23-28, DATE 02/07/11, JSP
3	02/07/11	REVISED ATTACHED ACCORDS TO PERMIT REQUIREMENT 02/07/11 - JSP

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY PERSONAL CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS & MAPPERS IN CHAPTER 61-17.050, 61-17.052 AND 61-17.053, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

KJM Surveying, Inc.
1222 W. Highway 200
Gainesville, FL 32608
Phone: 352-333-0222 Fax: 352-333-1307

KARENTH J. MOORE PLS 84455
CORPORATE NO. LB 000707
STATE OF FLORIDA

09-14566

Subj: **Variance Application**
Date: 9/23/2011 9:50:21 A.M. Central Daylight Time
From: tina@kjmsurveying.com
To: godwintngr@aol.com
Todd,

We will get together on Monday and pick up the application, you only need to fill out page 1. Let me know if you have any questions.

Thanks!

Tina Monie
KJM Surveying, Inc.
2828 Venetian Court
Gulf Breeze, Florida 32563
850-438-0202 (p)
850-438-1307 (f)

Monday, September 26, 2011 AOL: GodwinTngr

Prepared by:
Brandi Parkerson
Flounlacker Law Firm
314 N. Spring Street
Pensacola, Florida 32501

File Number: 11-0072L

The Association is responsible for the maintenance of all Common Areas (including, without limiting the generality of the foregoing, any and all roads, curbs, easements, drainage facilities, landscaping, drainage structures, holding and retention ponds, subdivision fencing, gatehouse, entry gate, lighting and the like) and shall pay all ad valorem property taxes assessed upon them.

General Warranty Deed

Made this February 4, 2011 A.D. By Margaret M. Minton and Steven E. Minton wife and husband, whose address is: 781 Mohegan Circle, Cantonment, FL 32533, hereinafter called the grantor, to Gulf Advanced Construction, Inc., a Florida Corporation, whose post office address is: 3049 Whitley Lane, Pace, FL 32571, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Escambia County, Florida, viz:

Lot 6, Block D, Soaring, according to the Plat thereof as recorded in Plat Book 18, Page 6, of the Public Records of Escambia County, Florida.

Parcel ID Number: 22-1N-31-1403-060-004

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.


And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2010.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

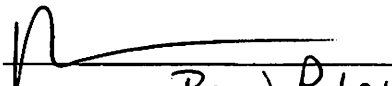
Signed, sealed and delivered in our presence:



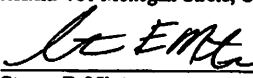
Witness Printed Name Diane Harmon



Margaret M. Minton (Seal)
Address: 781 Mohegan Circle, Cantonment, FL 32533




Witness Printed Name Brandi Parkerson




Steven E. Minton (Seal)
Address: _____

State of Florida
County of Escambia

The foregoing instrument was acknowledged before me this 4th day of February, 2011, by Margaret M. Minton and Steven E. Minton wife and husband, who is/are personally known to me or who has produced driver's license as identification.

NOTARY PUBLIC STATE OF FLORIDA
 Brandi N. Parkerson
Commission # DD737935
Expires: NOV. 29, 2011
BORGES TRUST ATLANTIC BONDING CO., INC.



Notary Public
Print Name: _____
My Commission Expires: _____

2011 FOR PROFIT CORPORATION ANNUAL REPORT

DOCUMENT# P04000030054

FILED
Apr 19, 2011
Secretary of State

Entity Name: GULF ADVANCED CONSTRUCTION, INC.

Current Principal Place of Business:

3049 WHITLEY LANE
PACE, FL 32571

New Principal Place of Business:

4935 KOLB ROAD
MILTON, FL 32570

Current Mailing Address:

PO BOX 701
MILTON, FL 32572

New Mailing Address:

FEI Number: 20-0782388

FEI Number Applied For ()

FEI Number Not Applicable ()

Certificate of Status Desired (X)

Name and Address of Current Registered Agent:

JOHN PHARR, CPA, LLC
1306 E CERVANTES
SUITE F
PENSACOLA, FL 32501 US

Name and Address of New Registered Agent:

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE: _____

Electronic Signature of Registered Agent

_____ Date

OFFICERS AND DIRECTORS:

Title: P
Name: GODWIN, TODD J
Address: 4935 KOLB ROAD
City-St-Zip: MILTON, FL 32570

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am an officer or director of the corporation or the receiver or trustee empowered to execute this report as required by Chapter 607, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.

SIGNATURE: TODD J GODWIN

P

04/19/2011

Electronic Signature of Signing Officer or Director

Date



Chris Jones

Escambia County Property Appraiser

[Real Estate Search](#) |
 [Tangible Property Search](#) |
 [Amendment 1 Calculations](#)

[Back](#)

Navigate Mode
 Account
 Reference

Printer Friendly Version

<p>General Information</p> <p>Reference: 221N311403060004 Account: 114204250 Owners: GULF ADVANCED CONSTRUCTION INC Mail: 3049 WHITLEY LANE PACE, FL 32571 Situs: 1218 WINGS WAY 32533 Use Code: VACANT RESIDENTIAL </p> <p>Taxing Authority: COUNTY MSTU Tax Inquiry: Open Tax Inquiry Window Tax Inquiry link courtesy of Janet Holley, Escambia County Tax Collector</p>	<p>2011 Certified Roll Assessment</p> <p>Improvements: \$0 Land: \$36,575 <hr/> Total: \$36,575 Save Our Homes: \$0</p> <p style="text-align: center;">Disclaimer</p> <hr/> <p style="text-align: center;">Amendment 1 Calculations</p>
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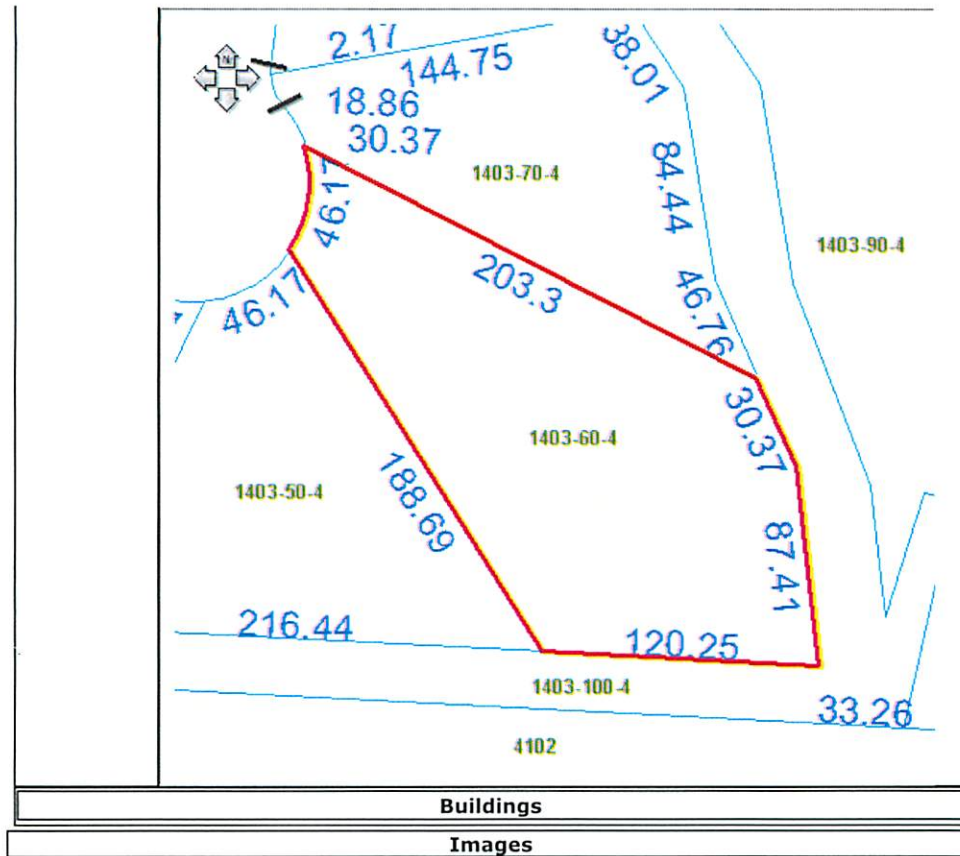
<p>Sales Data</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Sale Date</th> <th style="text-align: left;">Book</th> <th style="text-align: left;">Page</th> <th style="text-align: left;">Value</th> <th style="text-align: left;">Type</th> <th style="text-align: left;">Official Records (New Window)</th> </tr> </thead> <tbody> <tr> <td>02/04/2011</td> <td>6688</td> <td>502</td> <td>\$44,500</td> <td>WD</td> <td>View Instr</td> </tr> <tr> <td>02/20/2009</td> <td>6430</td> <td>1671</td> <td>\$45,000</td> <td>WD</td> <td>View Instr</td> </tr> <tr> <td>03/2005</td> <td>5591</td> <td>934</td> <td>\$203,400</td> <td>WD</td> <td>View Instr</td> </tr> </tbody> </table> <p>Official Records Inquiry courtesy of Ernie Lee Magaha, Escambia County Clerk of the Court</p>	Sale Date	Book	Page	Value	Type	Official Records (New Window)	02/04/2011	6688	502	\$44,500	WD	View Instr	02/20/2009	6430	1671	\$45,000	WD	View Instr	03/2005	5591	934	\$203,400	WD	View Instr	<p>2011 Certified Roll Exemptions</p> <p>None</p> <hr/> <p>Legal Description</p> <p>LT 6 BLK D SOARING S/D PB 18 P 6 OR 6688 P 502</p> <hr/> <p>Extra Features</p> <p>None</p>
Sale Date	Book	Page	Value	Type	Official Records (New Window)																				
02/04/2011	6688	502	\$44,500	WD	View Instr																				
02/20/2009	6430	1671	\$45,000	WD	View Instr																				
03/2005	5591	934	\$203,400	WD	View Instr																				

Parcel Information
 [Restore Map](#)
 [Get Map Image](#)
 [Launch Interactive Map](#)

Section Map Id:
[22-1N-31](#)

Approx. Acreage:
 0.6300

Zoned:
[VR-2](#)



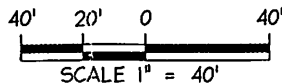
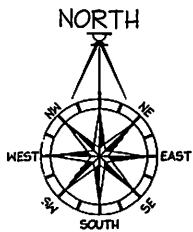
The primary use of the assessment data is for the preparation of the current year tax roll. No responsibility or liability is assumed for inaccuracies or errors.

Last Updated: 09/26/2011 (tc.5979)

WINGS WAYS
(50' RIGHT-OF-WAY)

CENTERLINE
P-S07°54'53"W 81.96'
F-S07°54'45"W 81.91'

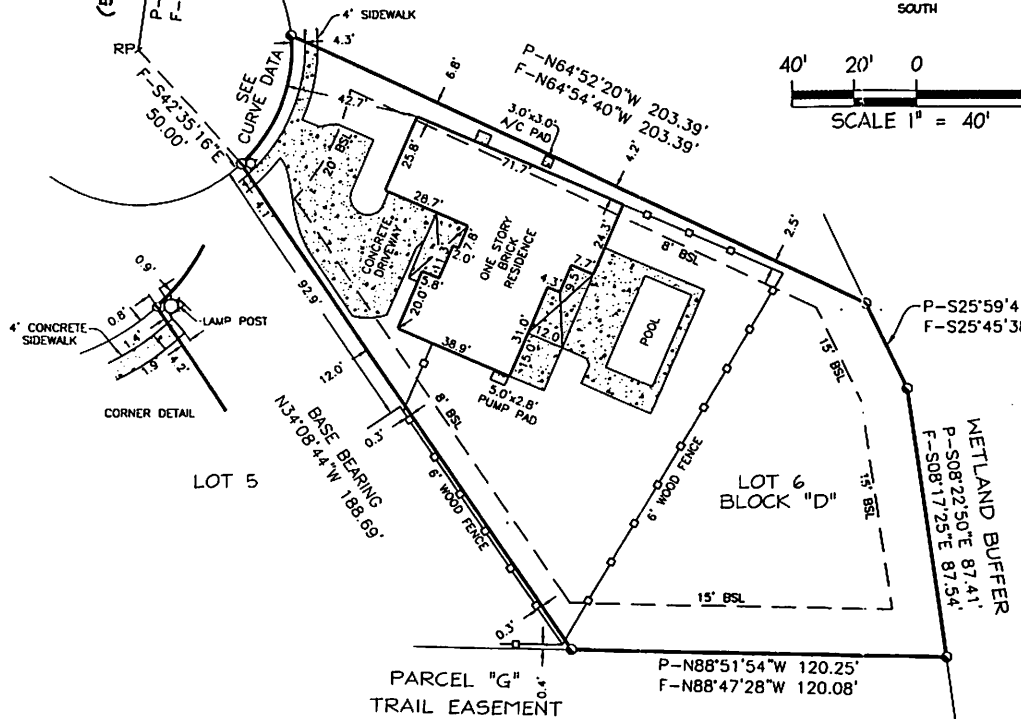
LOT 7



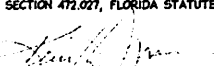
- SURVEYOR'S NOTES:**
- THIS SURVEY WAS PREPARED FOR THE CLIENT SHOWN AND IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT PRIOR CONSENT FROM THIS SURVEYOR.
 - ALL MEASUREMENTS WERE MADE ACCORDING TO UNITED STATES STANDARD FOOT.
 - NO TITLE RESEARCH WAS PERFORMED BY THIS SURVEYOR, NOR WERE HE FURNISHED WITH SUCH.
 - NO INSTRUMENT OF RECORD REFLECTING EASEMENTS, RIGHT-OF-WAY, AND/OR OWNERSHIP WERE FURNISHED TO THIS SURVEYOR EXCEPT AS SHOWN.
 - NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN.
 - ALL BEARINGS AND DISTANCES ARE RECORDED UNLESS OTHERWISE NOTED.
 - ERROR OF CLOSURE MEETS MINIMUM TECHNICAL STANDARDS.
 - THERE MAY BE ADDITIONAL RESTRICTIONS AFFECTING THIS PROPERTY THAT MAY BE FOUND RECORDED IN THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA THAT DO NOT APPEAR ON THE FACE OF THIS PLAT.
 - BASIS OF BEARING: SOUTHERLY LINE OF LOT 4 AS 15/02/04M.
 - REFERENCE SOURCE: FIELD WORK AND EXISTING FIELD MONUMENTATION; COPY OF PLAT OF SOARING, PLAT BOOK 18, PAGE 6.
 - ENCROACHMENTS ARE AS SHOWN.
 - IT IS THE OPINION OF THE UNDERSIGNED SURVEYOR THAT THE PARCEL OF LAND SHOWN HEREON AS PER THE FLOOD INSURANCE RATE MAP INFORMATION AS FOLLOWS:
ZONE: "X"
 - ELEVATION: N/A
 - PANEL NUMBER: 120020 0260 G
 - AS DATED: SEPTEMBER 29, 2006
 - THE CERTIFICATE OF AUTHORIZATION NUMBER FOR KJM SURVEYING, INC., IS L.B. 707.

DESCRIPTION:
LOT 6, BLOCK D, SOARING, A PLANNED UNIT DEVELOPMENT SUBDIVISION OF A PORTION OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA AS RECORDED IN PLAT BOOK 18, PAGE 6 OF THE PUBLIC RECORDS OF SAID COUNTY.

- LEGEND:**
- ⊙ - FOUND 1/2" CAPPED IRON ROD #6783
 - ⊙ - FOUND 1/2" CAPPED IRON ROD #7107
 - ⊙ - FOUND NAIL & DISK #6783
 - BSL - BUILDING SETBACK LINE
 - R/W - RIGHT-OF-WAY
 - A/C - AIR CONDITIONER
 - RP - RADIUS POINT
 - PT - POINT OF TANGENCY
 - PC - POINT OF CURVATURE
 - PRC - POINT OF REVERSE CURVATURE
 - P - PLATTED DIMENSION
 - F - FIELD MEASUREMENT



CURVE DATA					
	RADIUS	DELTA	LENGTH	CHORD	CHORD BEARING
PLAT	50.00'	52°54'10"	46.17'	44.54'	N20°58'23"E
FIELD	50.00'	52°49'16"	46.10'	44.48'	N21°00'06"E

ADDRESS: 1218 WINGS WAY						
REQUESTED BY: STEVE MINTON						
TYPE: BOUNDARY SURVEY WITH IMPROVEMENTS						
SECTION 22, TOWNSHIP- 1 - NORTH, RANGE- 31 - WEST, ESCAMBIA COUNTY						
SCALE: 1"=40'	FIELD BOOK	PAGE	CRCH	FIELD DATE	DRAWN BY	CHECKED BY
	526	36	CB/CJ	02/16/09	JSP	
DATE: 02/14/09						
NO.	DATE	REVISIONS				APPROVED BY
1	02/01/09	RESURVEY, CRCH-CJ/N, F.B. - 504, PG. - 4, DATE 01/31/09, RD1				
2	04/22/09	FINAL SURVEY, CRCH-CJ/N, F.B. - 504, PG. - 22-23, DATE 04/08/09, JSP				
3	05/20/09	REVISED SETBACKS ACCORDING TO PERMIT #20090327 05/01/09 - JSP				
SURVEYOR'S CERTIFICATE						
I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS & MAPPERS IN CHAPTER 5J-17.050, 5J-17.052 AND 5J-17.052, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.						
 Kenneth J. Mone Professional Surveyor and Mapper 2828 Venetian Court Gulf Breeze, 32563 850-438-0202 Fax 850-438-1307					NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.	
KJM Surveying, Inc. Kenneth J. Mone Professional Surveyor and Mapper 2828 Venetian Court Gulf Breeze, 32563 850-438-0202 Fax 850-438-1307					DRAWING NUMBER 09-14568	

FILE NO.

Subj: **Variance Application**
Date: 9/23/2011 9:50:21 A.M. Central Daylight Time
From: tina@kjmsurveying.com
To: godwintngr@aol.com
Todd,

We will get together on Monday and pick up the application, you only need to fill out page 1. Let me know if you have any questions.

Thanks!

Tina Monie
KJM Surveying, Inc.
2828 Venetian Court
Gulf Breeze, Florida 32563
850-438-0202 (p)
850-438-1307 (f)

Monday, September 26, 2011 AOL: GodwinTngr



Development Services Department
Building Inspections Division
3363 West Park Place
Pensacola, Florida, 32505
(850) 595-3550
Molino Office - (850) 587-5770

RECEIPT

Receipt No. : **541429**

Date Issued. : 09/27/2011

Cashier ID : VHOWENS

Application No. : PBA110900026

Project Name : V-2011-13

PAYMENT INFO

Method of Payment	Reference Document	Amount Paid	Comment
Check	5680	\$350.00	App ID : PBA110900026
		\$350.00	Total Check

Received From : k j m surveying / GULF ADVANCED CONSTRUCTION INC

Total Receipt Amount : **\$350.00**

Change Due : \$0.00

APPLICATION INFO

Application #	Invoice #	Invoice Amt	Balance	Job Address
PBA110900026	634922	350.00	\$0.00	1218 WINGS WAY, CANTONMENT, FL, 32533

Total Amount :	350.00	\$0.00	Balance Due on this/these Application(s) as of 9/27/2011
-----------------------	---------------	---------------	--

AI-1531

Item #: 6.

Board of Adjustment

Meeting

10/19/2011

Date:



Attachments

CU-2011-09

C-2011-09



DEVELOPMENT SERVICES STAFF FINDINGS-OF-FACT

**Conditional Use Case: CU-2011-09
October 19, 2011**

I SUBMISSION DATA:

APPLICANT: John F. Latuelere III, Agent for Christine T. Marks

PROJECT ADDRESS: Hwy 29 North

PROPERTY REFERENCE NO.: 21-2N-31-1301-000-000

ZONING DISTRICT: VAG-2, Villages Agricultural District - 2

FUTURE LAND USE: RC, Rural Community

II REQUESTED CONDITIONAL USE:

To allow the construction of a commercial communications tower measuring 200' in height, exceeding the allowed height by 50'.

III RELEVANT AUTHORITY:

Land Development Code of Escambia County, Florida (Ordinance 96-3 as amended), Section: 6.05.22.D. Conditional Uses.

4. Oil wells/mineral extraction and commercial antenna towers more than 150 feet in height.

IV CRITERIA

Land Development Code of Escambia County, Florida (Ordinance 96-3 as amended), Section 2.05.03.

CRITERION (1)

On-site circulation. Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, on-site parking and loading, and access in case of fire or catastrophe.

FINDINGS-OF-FACT

Access to the parcel and the structure will be from Hwy 29 North via a proposed gravel road to be constructed. Since this is currently an undeveloped site, all access, roads and right-of-ways and proposed parking will have to meet the current engineering construction standards that will be addressed during the site plan review process.

CRITERION (2)

Nuisance. Adverse impact such as noise, glare, smoke, odor or other harmful effects (electrical interference, hazardous materials, etc.) of the conditional use on adjoining properties and properties generally in the District.

FINDINGS-OF-FACT

In order to address electrical interference, glare and other harmful effects criteria, the applicant must secure all of the required Federal Communication Commission (FCC), the Federal Aviation Administration (FAA), United States Navy and the Escambia County Emergency Management Services permits and or approvals, related to the construction and operation of a commercial communications tower. Further, the proposed structure must comply with all of the requirements reviewed during the site plan review process.

CRITERION (3)

Solid Waste. Refuse and service areas with particular reference to concurrency requirements and items (1) and (2) above.

FINDINGS-OF-FACT

Applicant stated that there will be no solid waste utilities on-site.

CRITERION (4)

Utilities. Utilities with reference to concurrency requirements, location, availability and compatibility with surrounding land uses.

FINDINGS-OF-FACT

Applicant stated that power and telephone are the only utilities needed. All other required utilities will be addressed during the site plan review process.

CRITERION (5)

Buffers. The buffer may be a landscaped natural barrier, a natural barrier or a landscaped or natural barrier supplemented with fencing or other man-made barriers, so long as the function of the buffer and the intent of Policy FLU 1.1.9 of the Comprehensive Plan and the provisions of Section 7.01.06 of the Land Development Code are fulfilled.

FINDINGS-OF-FACT

LDC 7.01.06.B states that the following relationships between land-uses require a buffer: 2. commercial land uses, where they are adjacent to residential uses. The buffer standards for the proposed project will be reviewed during the site plan review process.

CRITERION (6)

***Signs.* Signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the District.**

FINDINGS-OF-FACT

Any proposed signs will have to meet the standards of Article 8 of the LDC; any proposed on-site lighting will have to meet all of the requirements delineated in Article 7 of the LDC. Both signs and lighting proposed standards will be reviewed during the site plan review process.

CRITERION (7)

***Environment impact.* Impacts to protected trees, wetlands, water bodies, stormwater management or other natural features of the subject parcel.**

FINDINGS-OF-FACT

Applicant stated that a NEPA report has been ordered. The results of such report, as well as other pertinent information addressing removal of protected trees, water bodies and storm water management will be further evaluated at the time of reviewing the site plan for the proposed project.

CRITERION (8)

***Neighborhood impact.* General compatibility with adjacent properties and other property in the immediate area.**

FINDINGS-OF-FACT

Based on the preliminary drawings provided by the applicant, it appears that impact on neighboring parcels would be minimal and that the proposed use is compatible with the surrounding properties. Further review of compatibility will be performed during the Site Plan Review.

CRITERION (9)

***Other requirements of Code.* The proposed Conditional Use is consistent with all other relevant provisions of this Code.**

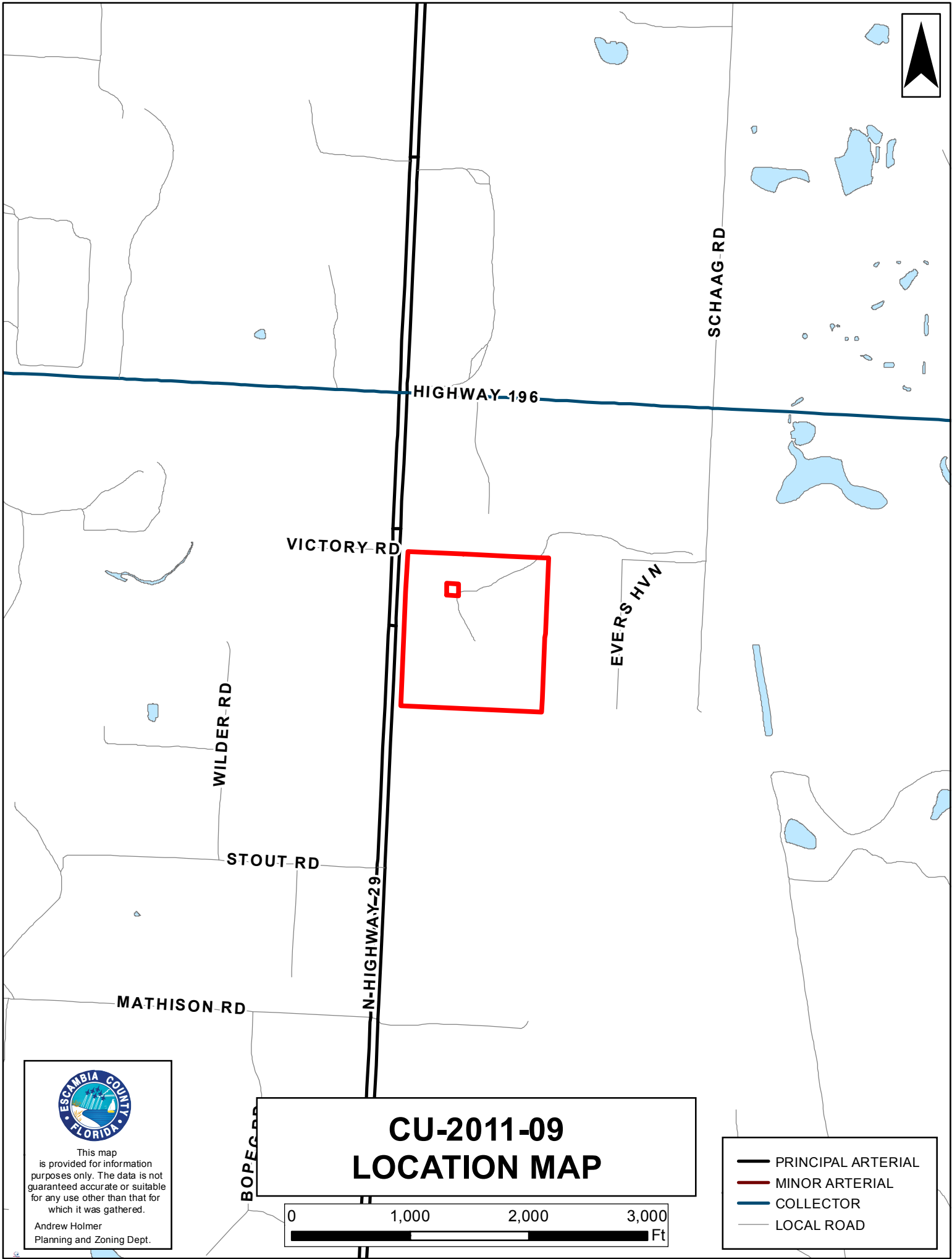
FINDINGS-OF-FACT

The LDC Article 7.18.00., paragraphs A thru O identify additional requirements for the placement of commercial communication towers. Based on the submitted documents, the applicant has not provided the required collocation information as stated in 7.18.00.B.2. There is an existing commercial tower located approximately 1,000' north of the proposed site. There is no supporting documentation available, showing evidence that reasonable efforts were made by the applicant to collocate with the owner of the existing tower.

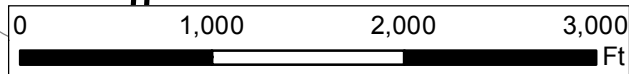
V RECOMMENDATION





The applicant has failed to meet all of the requirements as stated under Criterion (9). Therefore, Staff recommends the Board deny the Conditional Use request.

These findings are based solely on the information available to staff as submitted by the applicant.



CU-2011-09 LOCATION MAP



-  PRINCIPAL ARTERIAL
-  MINOR ARTERIAL
-  COLLECTOR
-  LOCAL ROAD



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.



EXIST. CELL TOWER

FOREST SVC TOWER

TOWER SITE

VICTORY RD

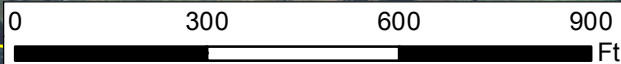
N HIGHWAY 29








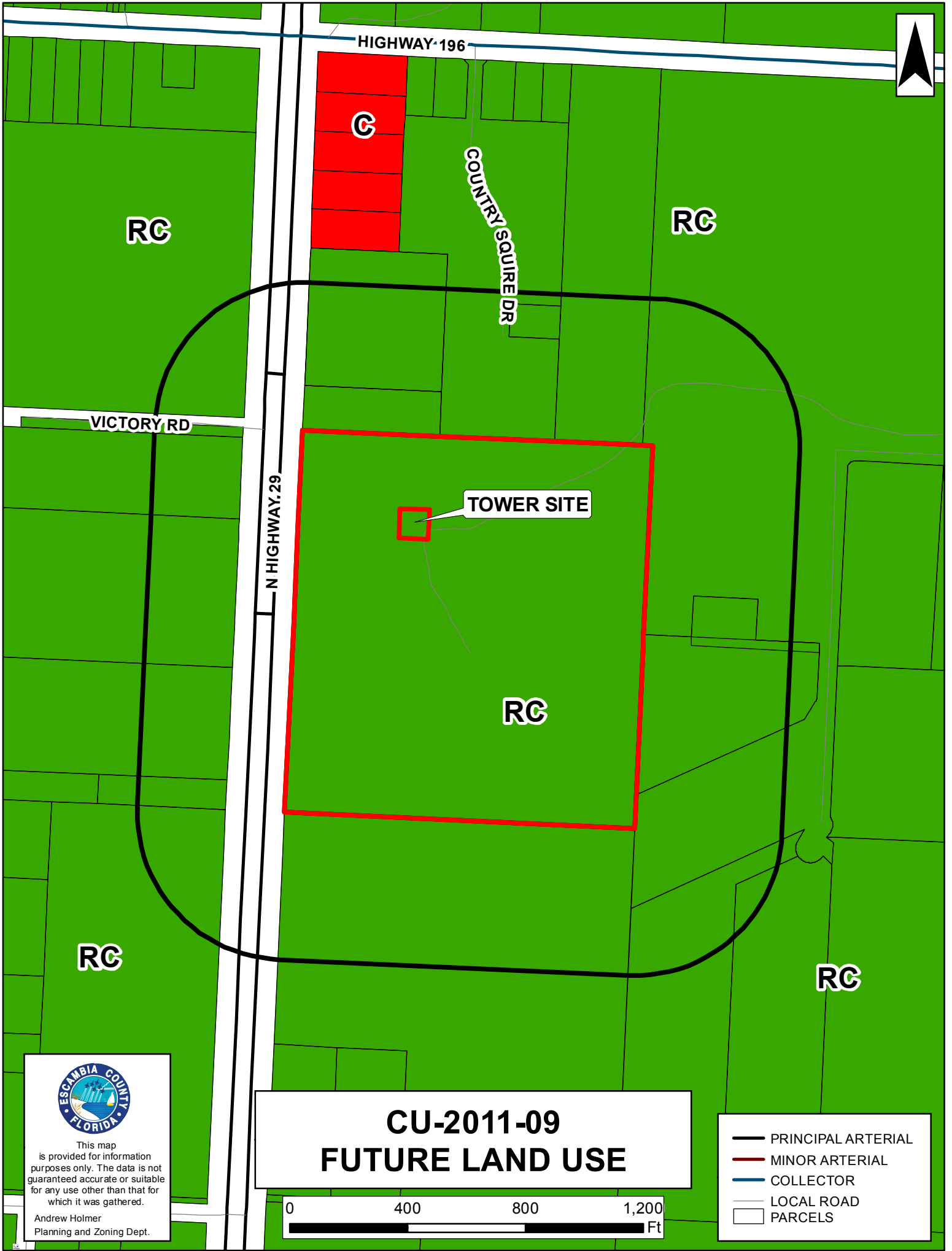
This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

CU-2011-09 AERIAL MAP



-  PRINCIPAL ARTERIAL
-  MINOR ARTERIAL
-  COLLECTOR
-  LOCAL ROAD
-  PARCELS



HIGHWAY 196

C

COUNTRY SQUIRE DR

RC

RC

VICTORY RD

N HIGHWAY 29

TOWER SITE

RC

RC

RC



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

**CU-2011-09
FUTURE LAND USE**



- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD
- PARCELS



HIGHWAY 196

V-2

GBD

COUNTRY SQUIRE DR

V-2

VAG-1

VAG-2

VR-2

VICTORY RD

N HIGHWAY 29

TOWER SITE



VAG-2

VR-2

VAG-2

VR-2

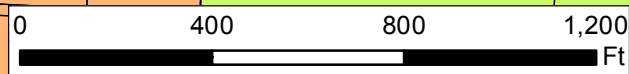
VAG-2



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

CU-2011-09 500' RADIUS ZONING



- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD
- PARCELS



4805 W. Independence Pkwy
Suite 100
Tampa, FL 33634
813.888.9500 Tel
813.884.4288 Fax
www.atwell-group.com

August 18, 2011

Escambia County Development Services
Board of Adjustment
Attn: Andrew Holmer, Karen Spitsbergen
3363 West Park Place
Pensacola, FL 32505

Re: Letter of Request for Conditional Use Permit
Proposed 195' Communications Tower located at Highway No. 29, Pensacola FL 32533
Property Reference No: Tax Parcel ID 212N311301000000

Dear Mr. Holmer, Ms. Spitsbergen and Members of the Board of Adjustment:
Please accept this letter and application materials submitted in request for a Conditional Use Permit for a proposed communications tower for consideration at the next Board of Adjustment meeting scheduled for September 21, 2011.

The property is owned by Christine T. Marks, Trustee for the Christine T. Marks Trust, and is located on Highway No. 29, Pensacola FL 32533. The Tax ID No. is 212N311301000000. The legal description is: SW Qtr of NE Qtr of Section 21, Township 3 South, Range 31 West, and Escambia County, FL. The proposed project will include a 195' monopole communications tower, an 11'-5" x 28' equipment shelter within a 100' x 100' leased premise. The site will be fenced-in with a 6' chain-link fence w/1' security wire at the top, and a 12' double swing gate. The leased premise will be accessed via a 12' wide gravel drive located within a 30' wide access/utility easement.

The proposed tower requires a Conditional Use Permit as it exceeds the 140' height limitation by 55'-0".

Conditional Use Checklist: In response to the items noted in the Conditional Use Criteria checklist:

On-site Circulation: Once the site has been constructed, most of the traffic will be by the wireless carrier's technicians. The technicians will typically be required to visit the site a few times a month. All transportation will be done by car, van or truck. No heavy duty vehicles will be needed for the normal visits. Since the site and parking space is approximately 350' from the road, normal traffic flow or safety will not be disrupted. The entrance to the site inside of the R.O.W. will be designed per County requirements and the rest of the road will be a 12' wide gravel road (see attached drawings).

Nuisance: No smoke or odor will be released from this site. The proposed shelter will have one exterior light that will be used for maintenance/service calls only. Since the site is approximately 350' from the road, glare and traffic safety will not be a concern. All proposed antennas will meet all FCC requirements for electrical interference.

Solid Waste: Solid waste utilities will not be required at this site.

Utilities: Only telephone and power will be required. Running water and sewer will not be required at this site. We will work directly with the local telephone and power companies

to make sure that we meet all of the local codes. Due to the site layout, no other parcels will be disturbed in order to get new service to the site.

Buffers: Per the Landscaping Zoning Ordinance Section 7.01.00, landscaping is NOT required for parcels zoned VAG-2. The site perimeter will be surrounded by a 6' chain-link fence with 1' of security wire at the top (7'-0" total - see attached drawings).

Signs: A sign will be placed on the 7' high chain link fence surrounding the compound with the tower owner's information and the tower's FCC Registration.

Environmental Impact: A NEPA report for this site has been ordered. The report should conclude that the site is not located within a 100 year flood plain and will not result in impacts to wetlands or changes to significant surface features.

Neighborhood Impact: The proposed site will be constructed on a parcel zoned VAG-2, which is currently vacant and heavily timbered.

Other Requirements of Code: Per this submittal package, this tower location meets the requirements of Section 7.18.00 "Commercial Communication Towers" of the Escambia County LDC:

A. Antennas.

Issuance of the C.U.P. pursuant to this application will indicate compliance.

B.1. Collocation.

The proposed tower will be designed to accommodate at least three (3) carriers.

B.2. Collocation.

A statement indicating such will be submitted under separate cover directly from the intended initial carrier.

C. Environmentally sensitive land.

Subject property is not environmentally sensitive.

D. Setback from residential zoning.

Subject site is located a minimum of 250' from residentially zoned land.
North: 251' from tower site to nearest residentially zoned land.
East: 1308' from subject property line to nearest residentially zoned land.
South: 775' from subject property line to nearest residentially zoned land.
West: 350' from tower site to nearest residentially zoned land

E. Lighting.

Tower will only be lit if required by the FAA/FCC/US Navy. Lighting is not anticipated at this time. If at such time lighting is required, it will be designed so as to comply fully with the Escambia County Regulations.

F. Color.

Proposed tower will be galvanized or painted gray.

G. Failure.

Proposed tower will be designed to meet TIA/EIA 222 (Rev G)

H. Security.

Proposed tower site to be fenced in with 6' chain-link fence w/1' of security wire.

- I. Screening.**
The proposed facility is located 200' from the north property line and 400' from the road (the other property lines are well in excess of these distances). The parcel is heavily wooded, and the compound will not be visible from the public right of way or surrounding properties.
- J. Emissions.**
All carriers will be required to comply with all federal requirements relative to their license to emit radio frequency.
- K. Abandonment.**
The tower owner will comply with this requirement.
- L. Pre-existing towers.**
This section is not applicable to new towers.
- M. Airport/airfield zoning.**
The proposed facility is less than 200', has been checked with the FAA Obstruction Evaluation system and determined that the FAA will not require lighting, and therefore this proposal complies with this requirement. Review by the United States Navy is being conducted concurrently, and should any lighting be deemed appropriate for this facility, such lighting will be provided.
- N. Variances.**
A statement demonstrating the need for 195'-0" height is being provided by the carrier under separate cover.
- O. Application Requirements.**
Items 3-5 have been provided. Items 1 and 2 will be provided prior to review by the Development Review Commission.

If there are any questions, or if you would like to discuss this issue further with me, I can be reached at 813-888-9500 or jlteulere@atwell-group.com.

Sincerely,



John F. Lateulere III, AICP
Telecommunications Project Manager



4805 W. Independence Pkwy
Suite 100
Tampa, FL 33634
813.888.9500 Tel
813.884.4288 Fax
www.atwell-group.com

September 20, 2011

Escambia County Development Services
Board of Adjustment
Attn: Andrew Holmer, Karen Spitsbergen
3363 West Park Place
Pensacola, FL 32505

Re: Letter of Request for Conditional Use Permit
Supplementary Materials for Review
Proposed 200' Communications Tower located at Highway No. 29, Pensacola FL 32533
Property Reference No: Tax Parcel ID 212N311301000000

Dear Mr. Holmer, Ms. Spitsbergen and Members of the Board of Adjustment:

Please accept this letter and application materials submitted to supplement the request for a Conditional Use Permit for a proposed communications tower for consideration at the next Board of Adjustment meeting scheduled for October 19, 2011.

Included in this package please find:

1. FCC/NEPA environmental checklist dated September 12, 2011. Items (3) Endangered Species, (4) Historic Places and (5) Indian Religious are expected to be resolved by October 18, 2011.
2. Documentation of filing for FAA Letter of No Impact to Air Navigation. Final Determination is expected by October 17, 2011.
3. Documentation of request for Navy review and approval of proposed site. A letter indicating no impact is anticipated to be sent to Mr. Holmer's attention by Bruce Stitt, the Community Planning Liaison Officer for the US Navy, the week of September 26, 2011.
4. Documentation of request for FDOT review and approval of proposed site relative to private air-strips (final FAA Determination required for same).
5. Coverage maps.
6. Collocation letter.
7. Copy of August 18, 2011 Application.
8. Zoning Drawings

If there are any questions, or if you would like to discuss this issue further with me, I can be reached at 813-888-9500 or jlateulere@atwell-group.com.

Sincerely,

John F. Lateulere III, AICP
Telecommunications Project Manager

Erick Allen
Notary Public, State of Ohio
My Commission Expires 7/25/2014



APPLICATION

COMMUNICATIONS TOWER

Please check application type:

Conditional Use Request for: 195'-0" HEIGHT

Administrative Appeal Variance Request for: _____

Development Order Extension Rezoning Request from: _____ to: _____

Name & address of current owner(s) as shown on public records of Escambia County, FL

Owner(s) Name: CHRISTINE T MARICIS TR Phone: 850/429-8640
JO JAMES MARICIS JR

Address: 120 E. MAIN ST. PENSACOLA FL 32502 Email: _____

Check here if the property owner(s) is authorizing an agent as the applicant and complete the Affidavit of Owner and Limited Power of Attorney form attached herein.

Property Address: HIGHWAY NO 29, PENSACOLA, ESCAMBIA COUNTY, FL 32533

Property Reference Number(s)/Legal Description: TAX ID # 212N31130/000000

SW QTR OF NE QTR OF SECT. 21, TWP 2 NORTH, RANGE 31 WEST
ESCAMBIA COUNTY
FL

By my signature, I hereby certify that:

- 1) I am duly qualified as owner(s) or authorized agent to make such application, this application is of my own choosing, and staff has explained all procedures relating to this request; and
- 2) All information given is accurate to the best of my knowledge and belief, and I understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application; and
- 3) I understand that there are no guarantees as to the outcome of this request, and that the application fee is non-refundable; and
- 4) I authorize County staff to enter upon the property referenced herein at any reasonable time for purposes of site inspection and authorize placement of a public notice sign(s) on the property referenced herein at a location(s) to be determined by County staff; and
- 5) I am aware that Public Hearing notices (legal ad and/or postcards) for the request shall be provided by the Development Services Bureau.

[Signature] AICP.

ATWELL, LLC
JOHN F. LATEVLERE III, AICP

8/14/11

Signature of Owner/Agent

Printed Name Owner/Agent

Date

SEPARATE CASE

Signature of Owner

Printed Name of Owner

Date

STATE OF OHIO

COUNTY OF MEADOW

The foregoing instrument was acknowledged before me this 18TH day of AUGUST 20 11.

by JOHN LATEVLERE

Personally Known OR Produced Identification . Type of Identification Produced: _____

[Signature]
Signature of Notary
(notary seal must be affixed)

ERICK ALLEN
Printed Name of Notary

Erick Allen
Notary Public, State of Ohio
My Commission Expires 7/25/2014

FOR OFFICE USE ONLY CASE NUMBER: _____

Meeting Date(s): _____ Accepted/Verified by: _____ Date: _____

Fees Paid. \$ _____ Receipt #: _____ Permit #: _____

APPLICATION

Please check application type:

Administrative Appeal

Development Order Extension

Conditional Use Request for: _____

Variance Request for: _____

Rezoning Request from: _____ to: _____

Name & address of current owner(s) as shown on public records of Escambia County, FL

Owner(s) Name: CHRISTINE T. MARKS Phone: 850-429-8640

Address: 120 E. MAIN ST., STE. A PENSACOLA FL 32502 Email: N/A

Check here if the property owner(s) is authorizing an agent as the applicant and complete the Affidavit of Owner and Limited Power of Attorney form attached herein.

Property Address: HIGHWAY 29 ESCAMBIA COUNTY FL

Property Reference Number(s)/Legal Description: 212N311301000000

By my signature, I hereby certify that:

- 1) I am duly qualified as owner(s) or authorized agent to make such application, this application is of my own choosing, and staff has explained all procedures relating to this request; and
- 2) All information given is accurate to the best of my knowledge and belief, and I understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application; and
- 3) I understand that there are no guarantees as to the outcome of this request, and that the application fee is non-refundable; and
- 4) I authorize County staff to enter upon the property referenced herein at any reasonable time for purposes of site inspection and authorize placement of a public notice sign(s) on the property referenced herein at a location(s) to be determined by County staff; and
- 5) I am aware that Public Hearing notices (legal ad and/or postcards) for the request shall be provided by the Development Services Bureau.


Signature of Owner/Agent

LIANNA M. NASH
Printed Name Owner/Agent

8-17-11
Date

Signature of Owner

Printed Name of Owner

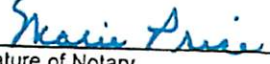
Date

STATE OF FLORIDA

COUNTY OF ESCAMBIA

The foregoing instrument was acknowledged before me this 17TH day of AUGUST 20 11 by LIANNA M. NASH

Personally Known OR Produced Identification . Type of Identification Produced: _____


Signature of Notary
(notary seal must be affixed)

MARIE PRICE
Printed Name of Notary

Marie Price
Notary Public
State of Florida
My Commission Expires 03-14-14
Commission No. DD 955028

FOR OFFICE USE ONLY

CASE NUMBER: _____

Meeting Date(s): _____ Accepted/Verified by: _____ Date: _____

Fees Paid: \$ _____ Receipt #: _____ Permit #: _____

APPLICATION

Please check application type:
 Administrative Appeal
 Development Order Extension
 Conditional Use Request for:
 Variance Request for:
 Rezoning Request from: to:

Name & address of current owner(s) as shown on public records of Escambia County, FL

Owner(s) Name: CHRISTINE T. MARKS Phone: 850-429-8640

Address: 120 E. MAIN ST., STE. A PENSACOLA FL 32502 Email: N/A

Check here if the property owner(s) is authorizing an agent as the applicant and complete the Affidavit of Owner and Limited Power of Attorney form attached herein.

Property Address: HIGHWAY 29 ESCAMBIA COUNTY FL

Property Reference Number(s)/Legal Description: 212 N 311301 000 000

By my signature, I hereby certify that:

- 1) I am duly qualified as owner(s) or authorized agent to make such application, this application is of my own choosing, and staff has explained all procedures relating to this request; and
2) All information given is accurate to the best of my knowledge and belief, and I understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application; and
3) I understand that there are no guarantees as to the outcome of this request, and that the application fee is non-refundable; and
4) I authorize County staff to enter upon the property referenced herein at any reasonable time for purposes of site inspection and authorize placement of a public notice sign(s) on the property referenced herein at a location(s) to be determined by County staff; and
5) I am aware that Public Hearing notices (legal ad and/or postcards) for the request shall be provided by the Development Services Bureau.

Signature of Owner/Agent

Printed Name Owner/Agent: JAMES J. MARKS, JR.

Date: 8-17-11

Signature of Owner

Printed Name of Owner

Date

STATE OF FLORIDA COUNTY OF ESCAMBIA

The foregoing instrument was acknowledged before me this 17th day of AUGUST 20 11 by JAMES J. MARKS, JR.

Personally Known [X] OR Produced Identification []. Type of Identification Produced:

Signature of Notary: Marie Price (notary seal must be affixed)

Printed Name of Notary: MARIE PRICE



FOR OFFICE USE ONLY
CASE NUMBER:
Meeting Date(s): Accepted/Verified by: Date:
Fees Paid. \$ Receipt #: Permit #:

AFFIDAVIT OF OWNER AND LIMITED POWER OF ATTORNEY

As owner of the property located at HIGHWAY 29 ESCAMBIA COUNTY,
Florida, property reference number(s) 212 N 311301000000

I hereby designate JOHN LATEULERE / ATWELL LLC for the sole purpose
of completing this application and making a presentation to the:

- Planning Board and the Board of County Commissioners to request a rezoning on the above
referenced property.
- Board of Adjustment to request a(n) CONDITIONAL USE PERMIT on the above referenced property.

This Limited Power of Attorney is granted on this 17TH day of AUGUST the year of,
2001, and is effective until the Board of County Commissioners or the Board of Adjustment has
rendered a decision on this request and any appeal period has expired. The owner reserves the right to
rescind this Limited Power of Attorney at any time with a written, notarized notice to the Development
Services Bureau.

Agent Name: JOHN LATEULERE / ATWELL LLC Email: jateulerc@atwell-group.com
Address: 39575 BRAINBRIDGE RD. # 108, CLEVELAND OH 44139 Phone: 440/349-2000

[Signature]
Signature of Property Owner

LIANNA M. NASH
Printed Name of Property Owner

8-17-11
Date

Signature of Property Owner

Printed Name of Property Owner

Date

STATE OF FLORIDA COUNTY OF ESCAMBIA

The foregoing instrument was acknowledged before me this 17TH day of AUGUST 20 11,
by LIANNA M. NASH.

Personally-Known OR Produced Identification . Type of Identification Produced: _____

[Signature]
Signature of Notary

MARIE PRICE
Printed Name of Notary

(Notary Seal)



AFFIDAVIT OF OWNER AND LIMITED POWER OF ATTORNEY

As owner of the property located at HIGHWAY 29, ESCAMBIA COUNTY, Florida, property reference number(s) 212N311301000000

I hereby designate JOHN LATEULERE / ATWELL LLC for the sole purpose of completing this application and making a presentation to the:

Planning Board and the Board of County Commissioners to request a rezoning on the above referenced property.

Board of Adjustment to request a(n) CONDITIONAL USE PERMIT on the above referenced property.

This Limited Power of Attorney is granted on this 16TH day of AUGUST the year of, 2011, and is effective until the Board of County Commissioners or the Board of Adjustment has rendered a decision on this request and any appeal period has expired. The owner reserves the right to rescind this Limited Power of Attorney at any time with a written, notarized notice to the Development Services Bureau.

Agent Name: JOHN LATEULERE / ATWELL LLC Email: jateulere@atwell-group.com

Address: 30575 BAINBRIDGE RD. # 108, CLEVELAND OH 44139 Phone: 440/349-2000

[Signature]
Signature of Property Owner

JAMES J. MARKS, JR.
Printed Name of Property Owner

8-16-11
Date

Signature of Property Owner

Printed Name of Property Owner

Date

STATE OF FLORIDA COUNTY OF ESCAMBIA

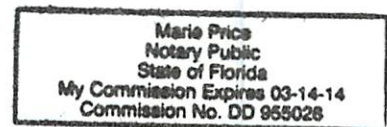
The foregoing instrument was acknowledged before me this 16TH day of AUGUST 2011, by JAMES J. MARKS, JR.

Personally Known OR Produced Identification . Type of Identification Produced: _____

[Signature]
Signature of Notary

MARIE PRICE
Printed Name of Notary

(Notary Seal)



IN THE CIRCUIT COURT IN AND FOR ESCAMBIA COUNTY, FLORIDA
PROBATE DIVISION

IN RE: Estate of

CHRISTINE T. MARKS

Deceased.

FILE NO.: 2010 CP 612
DIVISION: B

LETTERS OF ADMINISTRATION

TO ALL WHOM IT MAY CONCERN

WHEREAS, CHRISTINE T. MARKS., a resident of Escambia County, Florida, died on May 18, 2010, owning assets in the State of Florida, and

WHEREAS, LIANNA M. NASH and JAMES J. MARKS, JR., have been appointed Personal Representative of the estate of the decedent and have performed all acts prerequisite to issuance of Letters of Administration in the estate.

NOW, THEREFORE, I, the undersigned Circuit Judge, declare LIANNA M. NASH and JAMES J. MARKS duly qualified under the laws of the State of Florida to act as Personal Representative of the Estate of CHRISTINE T. MARKS, deceased, with full power to administer the estate according to law; to ask, demand, sue for, recover and receive the property of the decedent; to pay the debts of the decedent as far as the assets of the estate will permit and the law directs; and to make distribution of the estate according to law.

ORDERED on this 13 day of July, 2010.

Conformed Copies to:
JOHN A. Panyko
John A. Panyko, P. A.
323 East Romana Street
Pensacola, Florida 32502

[Signature]
Circuit Judge

2010 JUL 14 11:24
PROBATE DIVISION
FILED & RECORDED
ERNEST LEE HERRERA
CLERK OF CIRCUIT COURT
ESCAMBIA COUNTY FL

Case: 2010 CP 000612
00018708584
Dkt: CPLA Pg#:

IC 025

PROPERTY APPRAISER'S PARCEL IDENTIFICATION NO.

WARRANTY DEED TO TRUSTEE

STATE OF FLORIDA)
)
COUNTY OF ESCAMBIA)

THIS INDENTURE WITNESSETH, that the Grantor, CHRISTINE T. MARKS, of Pensacola, Escambia County, Florida, for and in consideration of Ten and No/100 Dollars (\$10.00) and other good and valuable considerations in hand paid, grants, bargains, sells, alienates, remises, releases, conveys and confirms unto the CHRISTINE T. MARKS REVOCABLE TRUST, dated December 27, 1995, with CHRISTINE T. MARKS as the initial Trustee and JAMES J. MARKS, JR. and LIANNA M. NASH, or the survivor of them (and their successors, STEPHANIE M. MARKS and NEAL B. NASH, respectively, as the case may be), as the successor trustees upon the resignation, death or incapacity of CHRISTINE T. MARKS, the following described real estate in the County of Escambia, State of Florida, to-wit:

[Schedule "A" attached hereto]

hereinafter called "the property."

Together with all and singular the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the said property in fee simple upon the trusts and for the uses and purposes herein and in said trust agreement set forth.

And the Grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever, subject only to any easements and restrictions of record and taxes for 2003 and subsequent years.

Written acceptance by any Successor Trustee, filed in the public records of said county, together with evidence of CHRISTINE T. MARKS' death, resignation or

incapacity, shall be deemed conclusive proof that the trustee herein named, CHRISTINE T. MARKS, no longer may serve and the successor trustees, JAMES J. MARS, JR. and LIANNA M. NASH, or the survivor of them (and their successors, STEPHANIE M. MARKS and NEAL B. NASH, respectively, as the case may be), shall commence to serve and be recognized as trustees for all purposes, with all the powers herein provided for the trustee. Evidence of CHRISTINE T. MARKS' death shall consist of a certified copy of her death certificate. Evidence of her incapacity shall consist of any one of the following:

(1) A proper order of a court of competent jurisdiction adjudicating incompetency.

(2) Duly executed, witnessed and acknowledged certificates by the trustee's physician and by either of the trustee's children, or the survivor of them, recorded in said public records, indicating that the grantor is too disabled to continue her involvement except as beneficiary in the trust.

(3) Duly executed, witnessed and acknowledged certificates of two licensed physicians (each of whom represents that he or she is certified by a recognized medical board), and recorded in said public records, each certifying that such physician has examined the grantor and has concluded that, by reason of accident, physical or mental illness, progressive or intermittent physical or mental deterioration, or other similar cause, the grantor had, at the date of the written certificate, become incompetent to act rationally and prudently in her own best interests.

Upon written acceptance by JAMES J. MARKS, JR. and LIANNA M. NASH, or the survivor of them (or STEPHANIE M. MARKS and NEAL B. NASH as successor trustees as the case may be), filed in the public records of said county, together with evidence of CHRISTINE T. MARKS' death, they shall commence to serve and be recognized as trustees for all purposes, with all the powers herein provided for the trustees.

Trustees or any successor trustees shall have full power and authority to deal in and with the property, including the power and authority to protect, conserve, sell, lease or encumber and otherwise manage and dispose of the Property, or any part thereof, it being the intent to vest in trustee or successor trustee full rights as grantee of the Property as authorized and contemplated by Section 689.071, Florida Statutes.

No party dealing with the trustees or successor trustees in relation to this Deed or to the Property, in any manner whatsoever, and (without limiting the foregoing) no party to whom the Property, or any part thereof or any interest therein, shall be conveyed, encumbered, leased or contracted to be sold by trustees or successor trustees, shall be obligated (a) to see the application of any purchase money, rent, or money borrowed or advanced with respect to the Property, or (b) to see that the terms of the

Trust have been complied with, or (c) to inquire into the authority, necessity or expediency of any act of the trustees or successor trustees, or (d) be privileged to inquire into any of the terms of the Trust.

Every deed, mortgage, lease or other instrument executed by the trustees or successor trustees in relation to the Property shall be conclusive evidence, in favor of every person claiming any right, title or interest thereunder that: (a) at the time of delivery thereof the trust created under the Trust was in full force and effect; (b) such instrument was executed in accordance with the terms and conditions of the Trust and all amendments thereof, if any, and is binding upon the beneficiaries thereunder; (c) the trustees or successor trustees was thereunder duly authorized and empowered to execute and deliver every such instrument; (d) if a conveyance of the Property has been made to a successor or successors in trust, that such successor or successors have been properly appointed and are fully vested with all the title, estate, rights, powers, duties and obligations of its, his or their predecessor in trust.

The trustees or successor trustees shall have no individual liability or obligation whatsoever arising from its ownership, as trustee under the Trust, of the legal title to the Property, or with respect to any act done, or contract entered into, or indebtedness incurred by it in dealing with the Property, or in otherwise acting hereunder, except only so far as the Property and any trust funds in the actual possession of the Grantee shall be applicable to the payment and discharge thereof. Any and all liability, if any, arising with respect to ownership of the Property shall be solely the responsibility of the beneficiary or beneficiaries of the Trust.

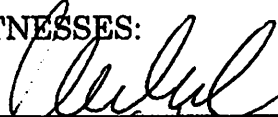
It is expressly understood and agreed between the parties and all successors and assigns that this Deed is accepted by Grantee, not personally, but as Trustee under the Trust in exercise of authority conferred upon such trustee therein. No personal liability or responsibility is assumed by or shall be enforceable against said trustees, or successor trustees, either express or implied.

The interest of the beneficiary or beneficiaries and of all persons claiming under them shall be only in the rents, avails and proceeds arising from the sale or other disposition of the Property, and such interest is hereby declared to be personal property, and the beneficiary or beneficiaries shall not have any title or interest, legal or equitable, in or to the Property as such, but shall have only an interest in the earnings, avails and proceeds of the Property as aforesaid.

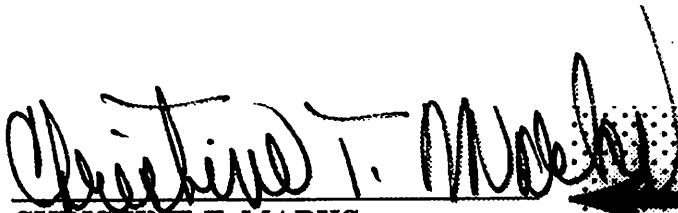
IN WITNESS WHEREOF, the Grantor has executed this instrument this 31st day of December, 2003.

Signed, sealed and delivered
in the presence of:

WITNESSES:


Print Name: NEAL NASH

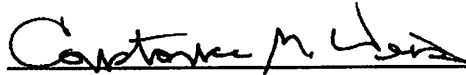

Print Name: John A. Panyko


CHRISTINE T. MARKS

STATE OF FLORIDA)
)
COUNTY OF ESCAMBIA)

THE FOREGOING INSTRUMENT was acknowledged before me this 31st day of December, 2003, by CHRISTINE T. MARKS, who personally appeared before me and is personally known to me, or who has produced _____ as identification.




NOTARY PUBLIC

Prepared By and Return to:
JOHN A. PANYKO
Florida Bar No. 444758
John A. Panyko, P. A.
200 South Tarragona Street
Pensacola, Florida 32501
(850) 438-7272 Telephone
(850) 438-7224 Facsimile

Exhibit A

Parcel 1: (01-4805-310)

Commencing at the intersection of the North line of Lot 11, Block 5, Pensacola Farmlands Subdivision, lying East of State Road No. 95, in Section 8, Township 1 South, Range 30 West, Escambia County, Florida, and the East right of way line of State Road No. 95; thence South 87 degrees 37 minutes 47 seconds East along said North line of Lot 11 for 438.233 feet; thence South 01 degree 00 minutes 23 seconds East for 309.489 feet to a Point of Beginning; thence continue along the same line for 124.96 feet; thence North 87 degrees 37 minutes 47 seconds West for 136.182 feet to a point on the East right of way line of State Road No. 95; thence North 36 degrees 23 minutes 11 seconds West and along said East right of way line for 160.293 feet; thence South 87 degrees 37 minutes 47 seconds East for 229.157 feet to the Point of Beginning.

Parcel 2 : (05-1917-000)

That portion of Section 8, Township 2 South, Range 30 West, described as follows: Begin at the Northeast corner of the Carlos DeVillier Grant and run Easterly in an extension of the North line of said Grant 571 feet 2 inches; thence South 19 degrees East 20 feet to the South side of an existing public road for the starting point of this description; thence continue South 19 degrees East 237.2 feet; thence East at right angles 308.93 feet to the Western right of way line of the Pensacola-Flomaton Highway; thence Northward along said right of way 250 feet; thence South 71 degrees West 228 feet 7 inches to the starting point of this description.

LESS AND EXCEPT ALL ROAD RIGHTS OF WAY
LESS AND EXCEPT PROPERTY DESCRIBED IN O.R. BOOK 3663 PAGE 556

Parcel 3 : (05-3929-000)

Commencing at the Southeast corner of the Southwest Quarter of the Southwest Quarter of Section 13, Township 2 South, Range 30 West, Escambia County, Florida; thence run North 0 degrees 16 minutes 30 seconds West along the West line of the East Half of the Southwest Quarter of Section 13 for 1544.90 feet to the Southerly right of way line of Marlane Drive (S.R. 296-a, 100' R/W); thence run North 71 degrees 02 minutes 30 seconds East along said right of way for 454.09 feet to the right of way of Mobile Highway (S.R. 10-A, 200' R/W); thence run South 42 degrees 30 minutes East along said right of way for 344.84 feet to the Point of Beginning; thence run South 28 degrees 00 minutes West for 330.68 feet; thence run South 42 degrees 30 minutes East for 100.0 feet; thence run South 28 degrees 00 minutes West for 139.4 feet; thence run North 88 degrees 05 minutes East for 99.3 feet; thence run North 28 degrees 00 minutes east for 390.08 feet to the right of way of Mobile Highway; thence run North 42 degrees 30 minutes West along said right of way for 191.30 feet to the Point of Beginning.

Parcel 4: (07-1351-000)

A portion of Lot 106 and a possible tip of Lot 107 of the Juan Dominguez Grant, Section 34, Township 2 South, Range 30 West, Escambia County, Florida, according to map of said grant recorded in Deed Book 128 at page 575 of the public records of said County, more particularly described as follows: Begin at the Northwest corner of Lot 30, Juan Heights, according to the plat recorded in Plat Book 2 at page 11 of the public records of Escambia county, Florida, said corner being on the Easterly right of way line of Corry Field Road (66' R/W) and being 442.89 feet South of the Southerly right of way line of Lillian Highway, State Road 298 (66' R/W); thence North 20 degrees 40 minutes 00 seconds East along the said Easterly right of way line for a distance of 92.89 feet for the Point of Beginning; thence South 69 degrees 20 minutes 00 seconds East for a distance of 185 feet to a concrete monument; thence North 20 degrees 40 minutes 00 seconds East for a distance of 100 feet to a concrete monument; thence North 69 degrees 20 minutes 00 seconds West for a distance of 185 feet to the Easterly right of way line of the said Corry Field Road; thence South 20 degrees 40 minutes 00 seconds West along the said Easterly right of way line for a distance of 100 feet to the Point of Beginning.

Parcel 5: (07-01366-000)

Deed Book 168, Page 254

Beginning at the Northeastern corner of that certain tract of land deeded to C. H. Williams by deed recorded in Deed Book 149, page 175, which point is an intersection of the Old Millview Road (State Road #125) and Old State Road #1; run thence Northwesterly along the South right-of-way line of Old State Road #1, a distance of 480.7 feet for a point of beginning of the description of the property hereby conveyed; continue thence on the same course a distance of 50 feet; thence at right angles Southerly a distance of 200 feet; thence run Easterly parallel with the North line, a distance of 50 feet; thence run Northerly parallel with the West line a distance of 200 feet to the point of beginning, being a portion of Lot 108 (Tax Assessor's map, DB 128, p. 475), Section 34, Township 2 South, Range 30 West. And the said party of the first part does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

Deed Book 168, Page 255

0.55 acres in lot 108, Section 34, Township 2 South, Range 30 West at the junction of the County Road known as Old Millview Road (State Road No. 125) and former location of State Road No. 1, being a part of that parcel described on page 510 of Deed Book 106 records of Escambia County, Florida, and more particularly described as follows: From the intersection of the Northerly line of the old 66 foot right-of-way of State Road Number 1, run Westerly along said Northerly line of the old right-of-way of Millview Road (State Road Number 125) a distance of 504.4 feet to an intersection with the Easterly line of the right-of-way of New Corry Field Road; thence, at an angle of 73°51' to the right from the course just traversed run Northerly along Easterly right-of-way of said Corry Field Road a distance of 306.6 feet to the "point of beginning" of this description; thence at an angle of 137°16' to the right from the course just run, go Southeasterly a distance of 91 feet to a point on an existing fence; thence, at an angle of 73°44' to the left from the course just run, go Northeasterly a distance of

200 feet to the Southerly right-of-way line of Old State Road Number 1; thence, at an angle of 90°0' to the left from course just traversed run Northeasterly along Southerly right-of-way of Old State Road Number 1, a distance of 124.6 feet to an intersection with the right-of-way of New Corry Field Road; thence, to the left from the course just run follow the said line of the right-of-way of new Corry Field Road as it curves 262.5 feet along right-of-way to the point of beginning; containing 0.55 acres, more or less; Excepting therefrom the following described property; From the intersection of the Northerly line of the Old 66 foot right-of-way.

Deed Book 182, Page 1

A portion of the Juan Dominguez Grant, being Section 34, Township 2 South, Range 30 West, more particularly described as follows, to-wit: From the intersection of the Northerly line of the old 66 foot right-of-way of Millview Road (State Road #125) and the Southerly line of the old 66 foot right-of-way of State Road #1, run Westerly along said Northerly line of the old right-of-way of Millview Road (State Road #125) a distance of 504.4 feet to the intersection with the Easterly line of the right-of-way of New Corry Field Road; thence at an angle of 73°51' to the right from the course just traversed, run Northerly along Easterly right-of-way of said Corry Field Road a distance of 306.6 feet to a point, being the point of beginning of the property hereby conveyed; thence at an angle of 137°16' to the right from the course just run, go Southeasterly a distance of 105 feet 6 inches to an existing fence line; run thence Westerly a distance of 77 feet, more or less, to a point on the Easterly right-of-way line of the Corry Field Road which is 56 feet 6 inches Southerly from the point of beginning, and run thence Northerly along said right-of-way line a distance of 56 6 inches to the point of beginning, being approximately 1/20th of an acre, in the form of a triangle.

Deed Book 185, Page 173

All that certain property more fully described in a warranty deed from Warren H. Walker and Laura Walker, husband and wife, to Allie Williams, an unmarried woman, dated November 3, 1941, and duly recoded in Deed Book 168, at page 274, fo the Records of Escambia County, Florida, to which deed reference is hereby made for complete description of the property hereby conveyed; the said property being in Section 34, Township 2 South, Range 30 West; a Vendor's lien is hereby retained against the said property fro payment of the sum of \$1000.00, said payment to be made on the 1st day of November, 1943, on or before which date the grantor herein agrees to vacate the house and premises and quit the same, but she shall have the use and occupancy of said premises until said date, if she so elects.

Deed Book 188, Page 441

That portion of Lot 108 of the Dominguez Grant described as follows: Begin at the Northeast intersection of the Millview Road and Corry Field Road, then run North along the East line of the right-of-way of Corry Field Road 150 feet for starting point of this description; thence continue in same direction 100 feet, thence run East 125 feet, thence South 100 feet, thence run West 125 feet to starting point, lying and being in Section 34, Township 2 South, Range 30 West, Escambia County, Florida.

Deed Book 188, Page 443

That portion of Lot 108 (according to Tax Assessor's map recorded in the Deed Records of said County) of the Dominguez Grant, Section 34, Township 2 South, Range 30 West, described as follows: Begin at the intersection of the Old Millview Road (State Road #125) and State Road #1; run thence Westerly along the South right-of-way line of State Road #1, to the West line of the property described in a deed recorded in Deed Book 190 at page 632, and which line is also the East line of the Marks property whether the same be in accordance with the measurements shown in said deed or more or less the same; run thence Southwesterly along the West line of the property as so described in Deed Book 190, Page 632, a distance of 170 feet more or less, to the South line of said property; thence run Southeasterly a distance of 50 feet, more or less, thence run Northeasterly to the South right-of-way line of State Road #1, at a point which is 50 feet Southeasterly from the point of beginning; run thence Northwesterly along said right-of-way a distance of 50 feet to the point of beginning; the purpose of this deed being to convey the Westerly 50 feet of the property described in said Deed Book 190 at page 632 adjoining the property now owned by the grantees herein.

Deed Book 308, Page 615

That portion of Lot 108 of Section 34, Township 2 South, Range 30 West, described as follows: Begin at the Northeast intersection of the Millview paved Road and Corry Field Road, and thence Northerly along East right-of-way of Corry Field Road a distance of 100 feet for starting point of this description, thence continue Northerly along said right-of-way line 50 feet, thence run in an Easterly direction 125 feet, thence in a Southerly direction 50 feet and thence in a Westerly direction 125 feet to point of beginning of this description.

Deed Book 525, Page 343

That portion of Lot 108, Section 34, Township 2 Sough, Range 30 west, described as follows: Begin at the intersection of the Old Millview paved road, State Road #125, and Old State Road #1, and then run Northwesterly along the South right-of-way line of State Road #1 a distance of 250 feet 7 inches for point of beginning, thence continue Northwesterly along the said South right-of-way line a distance of 180 feet, thence Southwesterly at an angle of 90° to the left a distance of 180 feet, thence Easterly 248 feet to a point 98 feet South of the point of beginning, thence Northerly a distance of 98 feet to the point of beginning.

Parcel 6 : (08-1627-000)

Beginning at a concrete monument at the Southeast corner of Block 41, New Warrington, according to plat recorded in Plat Book 1 at page 35 of the public records of Escambia County, Florida, on the South line of Lot 24; running thence South 45 degrees 17 minutes West 176.22 feet; thence south 83 degrees West 99.5 feet; thence with said right of way line on a curve concave to the West with a radius of 739.33 feet to a point North 14 degrees 33 minutes West 90.5 feet for the Point of Beginning of this description; run thence North 81 degrees 22 minutes east a distance of 204.5 feet; thence North 17 degrees 49 minutes West 43.7 feet; thence North 74 degrees 24 minutes East 49.1 feet; thence North 15 degrees 32 minutes West 49.2 feet to the South line of Lot 3 in said Block 41; thence west on said South line 125 feet; thence North 15 degrees 32 minutes West on the center line of said Block 100 feet; thence West at an angle of 90 degrees to the line last traversed a distance of 125 feet to the East line of Barrancas Avenue; thence South 14 degrees 18 minutes East a distance of 167 feet to the Point of Beginning, being a portion of lot 24 of the Mary Jackson Plan in Section 51, Township 2 South, Range 30 West, Escambia County, Florida.

LESS AND EXCEPT ALL ROAD RIGHTS OF WAY

Parcel 7 : (09-1839-000)

That portion of the South Half of the Southwest Quarter of the Northeast Quarter lying East of the County Highway known as the Klondyke Road, less the South 5 acres thereof, in Section 39, Township 1 South, Range 31 West, Escambia County, Florida.

LESS AND EXCEPT ALL ROAD RIGHTS OF WAY

Parcel 8: (09-1971-000)

The Northeast Quarter of the Southeast Quarter, except the West 330 feet of the South 696.5 feet and except the West 210 feet of the North 623.5 feet, all in Section 39, Township 1 South, Range 31 West, Escambia County, Florida.

AND

The East 530 feet of the North 419.06 feet of the Southeast Quarter of the Southeast Quarter of Section 39, Township 1 South, Range 31 West, Escambia County, Florida.

LESS AND EXCEPT ALL ROAD RIGHTS OF WAY

Parcel 9: (09-2026-120)

Lot 3, Bellview Plaza, according to map or plat thereof filed in Plat Book 14 page 75 of the public records of Escambia County, Florida.

Parcel 10 (09-2027-510)

The North Half of the South Half of Lot 7, Section 1, Township 2 South, Range 31 West, Escambia County, Florida.

LESS AND EXCEPT PROPERTY DESCRIBED IN O.R. BOOK 3342 PAGE 12

Parcel 11: (09-4622-100)

A portion of Sections 25 and 26, Township 2 South, Range 31 West, Escambia County, Florida, more particularly described as follows: Beginning at the corner common to Sections 25, 26, 27, and 28, Township 2 South, Range 31 West, Escambia County, Florida; thence North 88 degrees 19 minutes 14 seconds West along the South line of Section 26 a distance of 5197.88 feet to the Easterly right of way line of State Road 293 (100' R/W); thence North 01 degree 02 minutes 12 seconds West along said right of way, 52.63 feet to the point of curve of a circular curve concave to the East having a radius of 3769.83 feet and a central angle of 14 degrees 57 minutes 00 seconds; thence along the arc of said curve for an arc distance of 983.66 feet (chord distance of 980.87 feet; chord bearing North 06 degrees 26 minutes 18 seconds East); thence North 13 degrees 54 minutes 19 seconds East, 987.76 feet; thence leaving said right of way North 83 degrees 13 minutes 25 seconds East, 827.15 feet; thence North 00 degrees 19 minutes 00 seconds East, 546.77 feet to the Southerly right of way of State Road 298 (66' R/W); thence along said right of way a distance of 3811.03 feet to a point lying 383.59 feet South 73 degrees 21 minutes 00 seconds West, of the intersection of said Southerly right of way and the East line of Section 26; thence South 00 degrees 12 minutes 31 seconds West and parallel to said section line, 1436.46 feet; thence North 89 degrees 45 minutes 44 seconds East and parallel to the North line of the Northwest Quarter of the Southwest Quarter, 1772.08 feet to a point on the East line of the Northwest Quarter of the Southwest Quarter; thence South 00 degrees 12 minutes 31 seconds West along the East line of the Northwest Quarter of the Southwest Quarter and the Southwest Quarter of the Southwest Quarter 2304.76 feet to the Southeast corner of the Southwest Quarter of the Southwest Quarter of said Section 25; thence North 88 degrees 19 minutes 14 seconds West along the South line of Section 25 1412.51 feet to the Point of Beginning. Containing 402.61 acres, more or less.

Excepting therefrom:

A portion of Section 26, Township 2 South, Range 31 West, Escambia County, Florida, more particularly described as follows: Commencing at the corner common to Sections 25, 26, 27, and 28, Township 2 South, Range 31 West, Escambia County, Florida; thence North 88 degrees 19 minutes 14 seconds West, along the south line of Section 26 a distance of 5197.88 feet to a point on the Easterly right of way line of State Road 293 (100' R/W); thence North 01 degree 02 minutes 12 seconds West along said right of way line, a distance of 52.63 feet to the point of curve of a circular curve concave to the East having a radius of 3769.83 feet and a central angle of 14 degrees 57 minutes 00 seconds; thence along the arc of said curve for an arc distance of 983.66 feet (chord distance of 980.87 feet, chord bearing North 06 degrees 26 minutes 18 seconds East); thence North 13 degrees 54 minutes 19 seconds East, a distance of 987.76 feet; thence leaving said right of way North 83 degrees 13 minutes 25 seconds East for a distance of 827.15 feet; thence North 00 degrees 19 minutes 00 seconds West a distance of 471.77 feet to the Point of Beginning of the herein described parcel; thence continue North 00 degrees 19 minutes 00 seconds West a distance of 75.00 feet to a point on the Southerly right of way line of State Road 298 (66' R/W); thence North 89 degrees 41 minutes 00 seconds East along the said right of way line a distance of 75.00 feet; thence South 00 degrees 19 minutes 00 seconds East a distance of 75.00 feet; thence South 89 degrees 41 minutes 00 seconds West a distance of 75.00 feet to the Point of Beginning. Containing 5,625 square feet or 0.129 acre, more or less.

LESS AND EXCEPT PROPERTY DESCRIBED IN O.R. BOOK 3497 PAGE 785 AND O.R. BOOK 4441 PAGE 344

Parcel 12: (10-1759-000)

Lots 3, 13, 14, and 18, these lots located in the Northeast Quarter of Section 12, Township 3 South, Range 31 West, Escambia County, Florida.

LESS AND EXCEPT ALL ROAD RIGHTS OF WAY

Parcel 13: (12-0374-000)

The Southwest Quarter of the Northeast Quarter of Section 21, Township 2 North, Range 31 West, Escambia County, Florida.

LESS AND EXCEPT ALL ROAD RIGHTS OF WAY

DR BK 5333 PG0409
Escambia County, Florida
INSTRUMENT 2004-199061

Parcel14: (12-0573-000)

The Southeast Quarter of the Southeast Quarter of Section 33, Township 2 North, Range 31 West, Escambia County, Florida.

Parcel15: (15-1337-000)

Lots 12, 13, 14, 15, 16, and 17, Block 147, West King Tract, City of Pensacola, Escambia County, Florida, according to map of said City copyrighted by Thomas C. Watson in 1906, less the East 30 feet of Lots 13 to 17 conveyed to the State Road Department of Florida.

RCD Jan 28, 2004 08:04 am
Escambia County, Florida

ERNIE LEE MAGAHA
Clerk of the Circuit Court
INSTRUMENT 2004-199061

Cynthia Sarady

From: Oram, Stephanie CIV NAS Pensacola, N31 [stephanie.oram@navy.mil]
Sent: Wednesday, August 17, 2011 4:29 PM
To: Cynthia Sarady
Subject: RE: Proposed Communication Tower - Jack's Branch

Cynthia,

My Air Traffic Control has this for action. The SME (Subject Matter Expert) on Obstruction Evaluations is out of the office until Monday. But I will get back to you as soon as I know something. I do have confirmation that there is **no frequency interference concerns.**

v/r, Stephanie

-----Original Message-----

From: Cynthia Sarady [<mailto:csarady@atwell-group.com>]
Sent: Wednesday, August 17, 2011 12:26
To: Oram, Stephanie CIV NAS Pensacola, N31
Subject: Proposed Communication Tower - Jack's Branch

Stephanie,

Have you had an opportunity to review the information on the proposed tower on Highway 29?

Thanks,

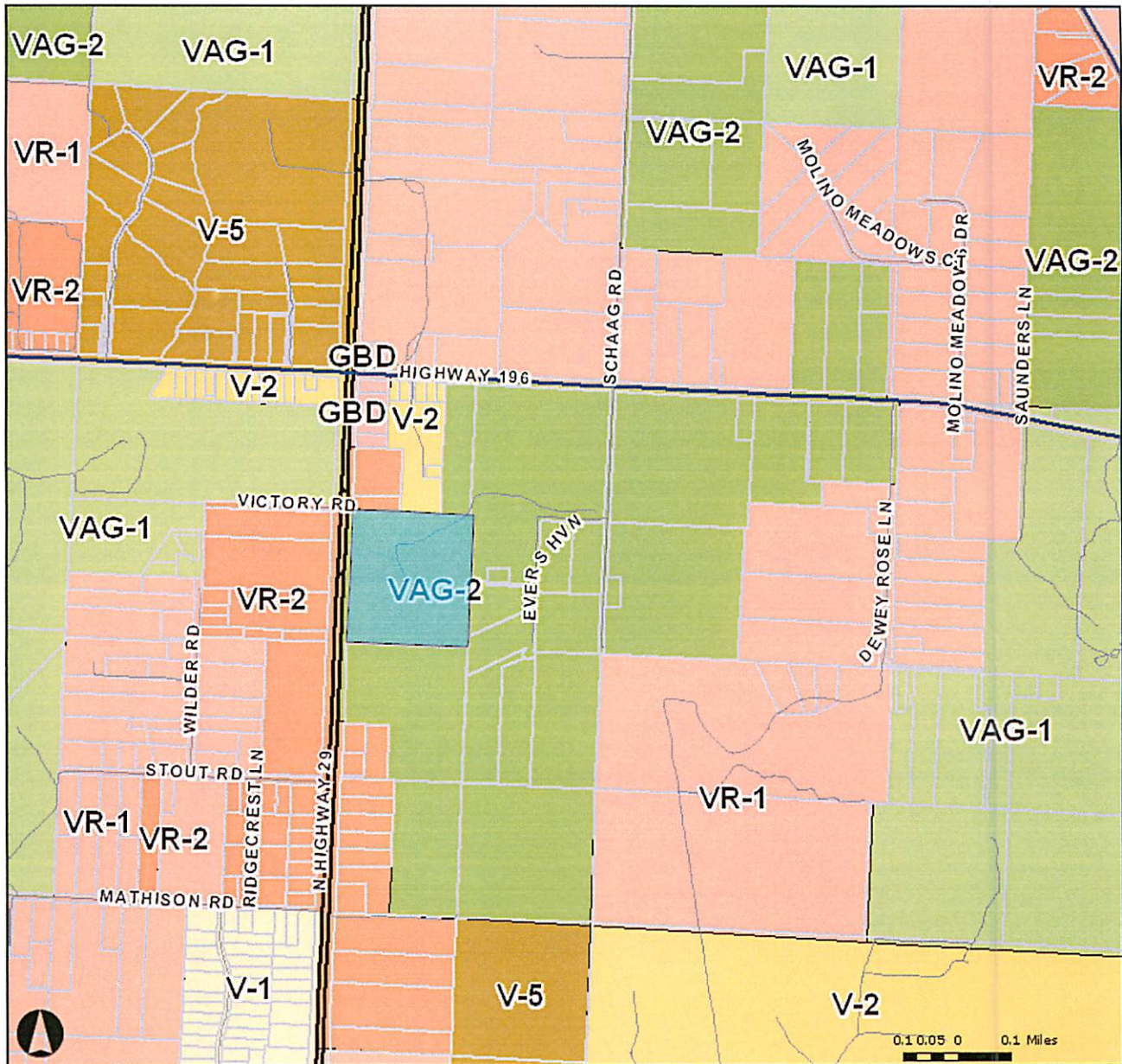
Cynthia Sarady

Land Manager
ATWELL, LLC
440.349.2000 Tel
216.346.9178 Mobile
440.349.2028 Fax
30575 Bainbridge Road | Suite 180 | Cleveland, OH 44139
www.atwell-group.com
Local Real Estate Solutions | Worldwide

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Electronic Data: Since data stored on electronic media can deteriorate, be translated or modified, Atwell, LLC will not be liable for the completeness, correctness or readability of

Jack's Branch Zoning



Disclaimer

This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

FAA

FAA filing is not required.


Latitude: 30 Deg 40 M 33.81 S N
Longitude: 87 Deg 20 M 58.45 S W
Horizontal Datum: NAD83
Site Elevation (SE): 144 (nearest foot)
Structure Height (AGL): 195 (nearest foot)
Traverseway: No Traverseway
(Additional height is added to certain structures under 77.9(c))
Is structure on airport: No
 Yes

Results

You do not exceed Notice Criteria.

INFORMATION:
MAD 63
LATITUDE = 30°40'33.81" N ±15"
LONGITUDE = 87°20'58.45" W ±15"
MAD 27
LATITUDE = 30°40'33.12" N ±15"
LONGITUDE = 87°20'58.53" W ±15"
GROUND ELEVATION AT BASE OF TOWER = 143.0 ±3' NOV020
GROUND ELEVATION AT BASE OF TOWER = 144.0 ±3' NOV020

Preliminary NEPA Land Use Screening Checklist

Site Type: <input checked="" type="checkbox"/> Raw land <input type="checkbox"/> Existing Tower	Site Name: Jack Branch Site Address: U.S. Highway 29 Cantonment, Florida Escambia County	MartinEnviro#: 2011-GTP-0019 Client Site ID: FL-5058 Latitude: 30° 40' 33.81"N Longitude: 87° 20' 58.45"W	
FCC NEPA Category	Information Source	Conclusion	
		POSITIVE	NEGATIVE
(1) Wilderness Area	National Park Service, U.S. Forest Service, Bureau of Land Management, and U.S. Fish and Wildlife Service; EDR NEPACheck®	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(2) Wildlife Preserve	National Park Service, U.S. Forest Service, Bureau of Land Management, and U.S. Fish and Wildlife Service; EDR NEPACheck®	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(3) Endangered Species	Informal Biological Assessment indicated no adverse effect to threatened and endangered species; however, U.S. Fish and Wildlife Service concurrence is required.	Pending	
(4) Historic Places	Cultural resource survey indicated no effect on historic resources; however, State Historic Preservation Office (SHPO) concurrence is required.	Pending	
(5) Indian Religious	No impacts anticipated based on results of cultural resource survey; however consultations with American Indian Tribes via Tower Construction Notification System (TCNS) must be completed.	Pending	
(6) Floodplain	Federal Emergency Management Agency (FEMA); EDR NEPACheck®	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(7) Wetlands	U.S. Fish and Wildlife Service, Army Corps of Engineers (ACOE); EDR NEPACheck®	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(8) High Intensity White Lights	Federal Aviation Administration (FAA)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(9) Radio Frequency (RF) Radiation Exposure	Federal Communication Commission (FCC)	The client is responsible for the evaluation of the project to ensure compliance with applicable RF Standards.	
<p><i>If screening investigation for any of the above categories results in a POSITIVE screening, an Environmental Assessment (EA) must be prepared and filed with the Federal Communications Commission (FCC). Construction may not start on any positively screened site requiring an EA prior to the receipt of a Finding of No Significant Impact (FONSI) from the FCC. A copy of this checklist with any applicable federal, state, or local determinations or permits, as well as copies of any EAs, evaluations, or corrective measures, shall be documented to the Site Development site project file. The undersigned has reviewed and approved completion of the NEPA Checklist for the above-referenced site.</i></p>			
Prepared By:	<i>Katie Davis</i>		 MartinEnviro Martin Environmental Solutions Inc
Print Name: Katie Davis	Title: NEPA Discipline Manager		
Date: September 12, 2011			

This checklist is only a summary of the findings and should be reviewed in conjunction with the NEPA Screening Report.

STATEMENT OF QUALIFICATIONS

SHERRIE LEMAN
VP, Environmental Services

Fields of Specialization

Ms. Leman has over eight years of diversified experience in the preparation, review, and management of all aspects of National Environmental Policy Act (NEPA) documentation.

Experience

Prior to joining the firm, Ms. Leman was responsible for regulatory compliance with applicable environmental regulations, including NEPA, for a national company within the telecommunications industry. Ms. Leman has significant experience in conducting and managing all aspects of the NEPA process. She has managed NEPA compliance projects conducted to meet directives for various government agencies, including but not limited to the Federal Communications Commission (FCC), Department of Homeland Security (DHS), Bureau of Indian Affairs (BIA), U.S. Department of Housing and Urban Development (HUD), and U.S. Postal Service (USPS).

In addition to NEPA compliance, Ms. Leman has over 20 years of diversified experience in the environmental field, including, Phase I and Phase II Environmental Site Assessments, subsurface investigations, regulatory compliance and permitting (air quality, wetlands, generators, and tanks), hazardous waste management, environmental microbiology studies, bio-remediation studies and implementation plans, environmental health risk assessment and management, indoor air quality studies, industrial hygiene, radon studies, lead-based paint studies, asbestos identification and remediation/abatement, quality assurance/quality control procedures, and sample collection and analysis of water, wastewater, soils, and air. She also has provided testimony as an expert witness in environmental contamination cases.

Education

B.S. Microbiology / Public Health Science with emphasis in Chemistry
South Dakota State University

Graduate studies in Environmental Public Health with emphasis in Environmental Engineering
University of South Florida

KATIE DAVIS
National NEPA Project Manager

Fields of Specialization

Ms. Davis has over 5 years experience in the field of environmental consulting and field auditing. She has conducted numerous Phase Environmental Site Assessments and National Environmental Policy Act reviews throughout the continental United States, Hawaii, and Puerto Rico. Ms. Davis has managed numerous multi-site ASTM Transaction Screen, Phase I Environmental Site Assessment, National Environmental Policy Act review projects, and the resulting subsequent investigations. Currently, Ms. Davis specializes in telecommunications facilities.

Experience

Ms. Davis has significant experience performing and preparing Phase I Environmental Site Assessments and National Environmental Policy Act reviews. She has conducted informal biological assessments, wetland studies and investigations, and threatened and endangered species assessments. Additionally, she has managed consultations with numerous State and Federal Wildlife Offices, Federally-Recognized Indian Tribes, and State Historic Preservation Offices along with preparing Environmental Assessments as part of the National Environmental Policy Act review.

Ms. Davis has experience in the bio-remediation field specializing in petroleum-contaminated sites. In addition, she has experience in air quality sampling and analysis. She also has maintained microbiological stock cultures and performed microbial identifications.

Education

B.S. Biology with minor in Chemistry
Florida State University



« OE/AAA

Notice of Proposed Construction or Alteration - Off Airport

Project Name: GLOBE-000184203-11

Sponsor: Global Tower, LLC

Details for Case : FL-5058 - Jack Branch

Show Project Summary

Case Status

ASN: 2011-ASO-5667-OE
Status: Work In Progress

Date Accepted: 09/02/2011
Date Determined:
Letters: None
Documents: 09/02/2011 FL-5058_2C.pdf

Construction / Alteration Information

Notice Of: Construction
Duration: Permanent

if Temporary : Months: Days:

Work Schedule - Start:
Work Schedule - End:

*For temporary cranes-Does the permanent structure require separate notice to the FAA? To find out, use the Notice Criteria Tool. If separate notice is required, please ensure it is filed. If it is not filed, please state the reason in the Description of Proposal.

State Filing: Not filed with State

Structure Summary

Structure Type: Antenna Tower
Structure Name: FL-5058 - Jack Branch
NOTAM Number:
FCC Number:
Prior ASN:

Structure Details

Latitude: 30° 40' 33.81" N
Longitude: 87° 20' 58.45" W
Horizontal Datum: NAD83
Site Elevation (SE): 183 (nearest foot)
Structure Height (AGL): 210 (nearest foot)
* If the entered AGL is a proposed change to an existing structure's height include the current AGL in the Description of Proposal.

Requested Marking/Lighting: Dual-red and medium intensity
Other :

Recommended Marking/Lighting:
Current Marking/Lighting: N/A New Structure
Other :

Nearest City: Cantonment
Nearest State: Florida
Description of Location: TBD
On the Project Summary page upload any certified survey.
Description of Proposal: New Tower

Common Frequency Bands

Low Freq	High Freq	Freq Unit	ERP	ERP Unit
698	806	MHz	1000	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1850	1910	MHz	1640	W
1930	1990	MHz	1640	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W

Specific Frequencies

Cynthia Sarady

From: Stitt, Bruce W CIV NAVFAC SE, PWD Pensacola [bruce.stitt@navy.mil]
Sent: Tuesday, September 20, 2011 12:31 PM
To: Oram, Stephanie CIV NAS Pensacola, N31; Cynthia Sarady; Armstrong, Martin (NRC Memphis)
Cc: John F. Lateulere; ADHOLMER@co.escambia.fl.us
Subject: RE: Proposed Communication Tower - Escambia County

Dear Ms. Sarady: I spoke with you on the phone a few weeks ago and asked you to send me some additional information, but I never received it from you. I have been in communication with Mr. Holmer from Escambia County just this morning regarding your need for a letter from the Navy. There has not been a history of issuance of such letters in my two year tenure here so I didn't have much to go on. I will be drafting the letter this week, with input from some of the Air Operations staff here at NAS Pensacola. Mr. Holmer indicated that it can be submitted to him by next week and that is my deadline at this point. I will be submitting it directly to Mr. Holmer. Please, only contact me if there are any other questions regarding this request. By doing this, you will be assured of a more direct answer to your inquiries. Thanks for your time.

In Service,

Bruce Stitt
Community Planning Liaison Officer
NAS Pensacola
850-452-3131 ex 3012

-----Original Message-----

From: Oram, Stephanie CIV NAS Pensacola, N31
Sent: Tuesday, September 20, 2011 11:22
To: 'csarady@atwell-group.com'; Armstrong, Martin (NRC Memphis); Stitt, Bruce W CIV NAVFAC SE, PWD Pensacola
Cc: 'jlateulere@atwell-group.com'; 'ADHOLMER@co.escambia.fl.us'
Subject: Re: Proposed Communication Tower - Escambia County

Bruce,

Can you provide the status on this to Ms. Sarady please.

Thanks,
Stephanie
Stephanie Oram
Deputy Air Operations
NAS Pensacola
c: (850)449-8474
w: (850)452-4231 x 3114

From: Cynthia Sarady <csarady@atwell-group.com>
To: Oram, Stephanie CIV NAS Pensacola, N31; Armstrong, Martin (NRC Memphis)
Cc: John F. Lateulere <jlateulere@atwell-group.com>; Andrew D. Holmer <ADHOLMER@co.escambia.fl.us>
Sent: Tue Sep 20 09:39:04 2011
Subject: Proposed Communication Tower - Escambia County

Stephanie/Martin:

What is the status of the Navy's review of this proposed tower? If you need any additional information, please let me know.

Thank you,

Cynthia Sarady

Land Manager
ATWELL, LLC
440.349.2000 Tel
216.346.9178 Mobile
440.349.2028 Fax
30575 Bainbridge Road | Suite 180 | Cleveland, OH 44139
www.atwell-group.com
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Cynthia Sarady

From: Cynthia Sarady
Sent: Tuesday, September 20, 2011 1:27 PM
To: 'Sergey.Kireyev@dot.state.fl.us'
Subject: FDOT Review of Proposed Communication Tower - Escambia County
Attachments: FL-5058_FAA_IN PROGRESS (2).pdf
Importance: High

Sergey:

Thank you for taking the time this morning to discuss the FDOT review process with me. Per our conversation, FDOT will require the final FAA determination prior to reviewing the proposed location.

We have filed for FAA Determination and that is still in process. Attached please find the Notice of Proposed Construction or Alteration which indicates the filing as a Work in Progress.

Please confirm by responding via email with any comments.

Thank you,

Cynthia Sarady

Land Manager

ATWELL, LLC

440.349.2000 Tel

216.346.9178 Mobile

440.349.2028 Fax

30575 Bainbridge Road | Suite 180 | Cleveland, OH 44139

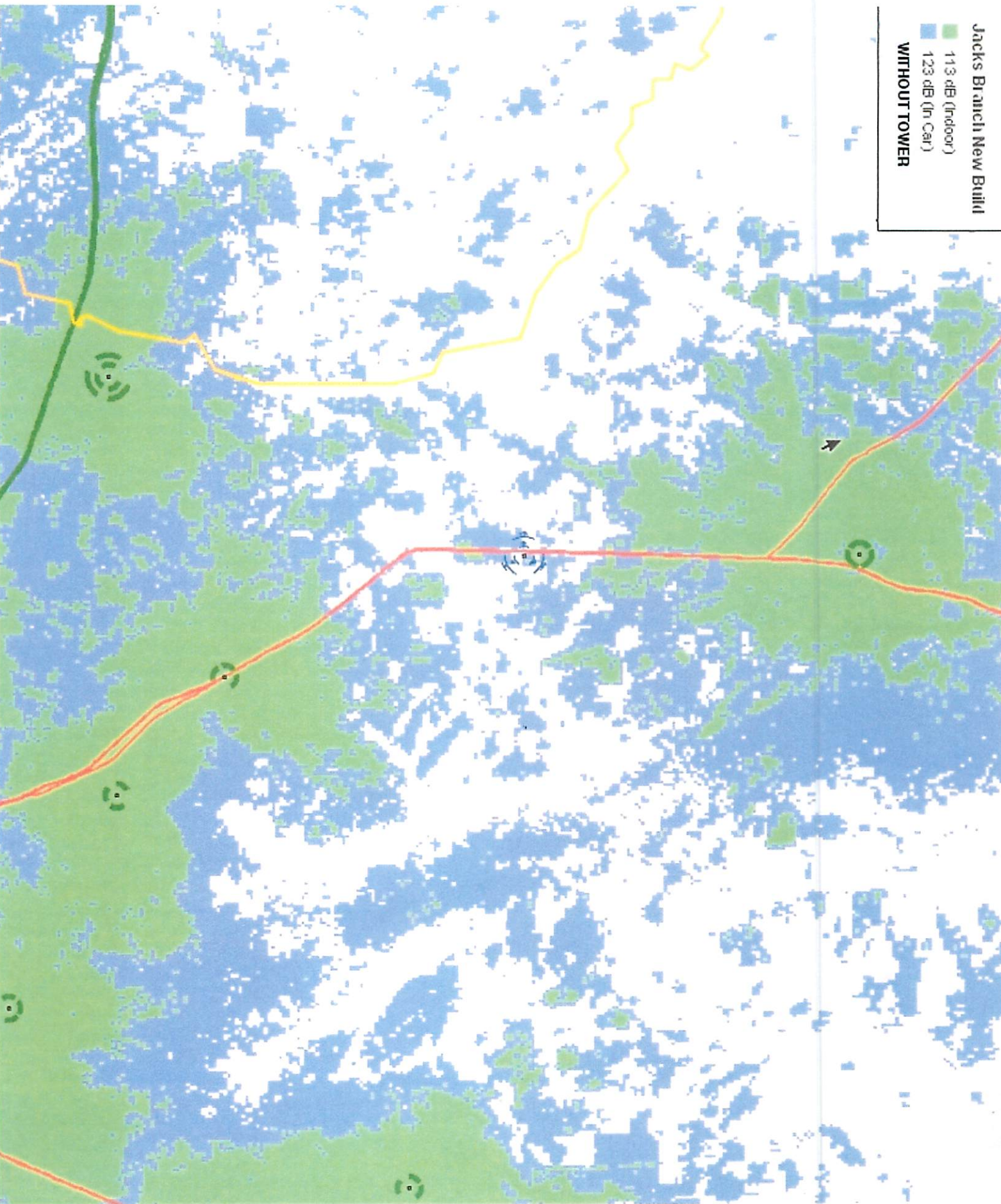
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Jacks Branch New Build

- 113 dB (Indoor)
- 123 dB (In Car)

WITHOUT TOWER





1000 Williams Blvd
Kenner, LA 70062

September 8, 2011

Escambia County FL Development Review Board
3363 West Park Place
Pensacola, FL 32505

Attention Zoning Official:

Verizon Wireless is proposing to erect a wireless communications facility in the above jurisdiction consisting of any of, but not limited to, a 200' monopole tower, ground equipment shelters, ground equipment cabinets, generators, fuel tanks, grading, access roads, fencing and utility runs.

Verizon Wireless was unable to collocate on the existing tower located at 30 - 40 - 42.9 N, 87 - 21 - 1.37 W, as the total differential in available tower height (150') and ground elevation (5.4' lower) equates to a height 55.4 feet less than the desired antenna centerline of 200' at a ground elevation of 182.4'. This differential is crucial for making the handoff on the highways and necessary for the success of the design of the network.

Signed: Steven Spears
Print Name: Steven Spears
Title: Construction Manager



FL-5058 JACK BRANCH ZONING DRAWINGS RAW LAND

ATWELL
www.atwell-group.com



4610 EISENHOWER BOULEVARD
SUITE 200, TAMPA, FL 33634
PH: 813 888 9500
FAX: 813 884 4288
OFFICES IN NORTH AMERICA AND ASIA



750 PARK OF COMMERCE BLVD.
SUITE 300
BOCA RATON, FL 33487
PH (561) 886-5848
FAX (561) 982-7048



3838 N. CAUSEWAY BLVD, SUITE
3250, METairie, LA 7002



REVISIONS

NO.	DATE	DESCRIPTION
5		
4		
3		
2		
1	09/16/11	REVISED PER COMMENTS
0	08/18/11	ISSUED FOR REVIEW

DRAWN BY: CS CHECKED BY: BO
SCALE: AS NOTED JOB NO: 11001682

**JACK BRANCH
FL-5058
HIGHWAY 29 NORTH
CANTONMENT, FL 32533**

SHEET DESCRIPTION

TITLE SHEET

SHEET NO.

T-1

SITE INFORMATION

SITE NAME: JACK BRANCH
PROJECT NUMBER: FL-5058
SITE ADDRESS: HWY 29 NORTH CANTONMENT, FL 32533
COUNTY: ESCAMBIA
JURISDICTION: ESCAMBIA COUNTY
SITE COORDINATES: N30° 40' 33.81" (LAT)
W87° 20' 58.45" (LONG)
SITE TYPE: RAW LAND
STRUCTURE TYPE: MONOPOLE
OVERALL STRUCTURE HEIGHT: 210'-0" AGL
TOWER HEIGHT: 200'-0" AGL
ANTENNA C.L. HEIGHT: 200'-0" AGL
PROPERTY OWNER NAME: CHRISTINE T. MARKS, TRUSTEE
PROPERTY OWNER ADDRESS: HWY 29 NORTH CANTONMENT, FL 32533
PARCEL NUMBER: 212N311301000000
PARCEL ZONING: VAG-2 (VILLAGES AGRICULTURE)
PARCEL ACREAGE: 35.49 ACRES
LEASE AREA ACREAGE: 10,000 SQ. FT. (10.23 ACRES)
ATWELL PROJECT MANAGER: BRAD ORAVSKY
POWER COMPANY: XXXXXXXXXXXXXXXXXXXXX
(XXX) XXX XXXX
TELEPHONE COMPANY: XXXXXX
(XXX) XXX XXXX

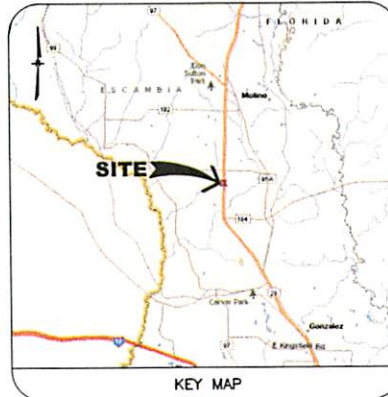
PROJECT SCOPE OF WORK:

THIS PROJECT CONSISTS OF A NEW 200' MONOPOLE WITH FOUNDATION (REFER TO TOWER DRAWINGS PROVIDED BY TOWER MANUFACTURER), SITE WORK, THE INSTALLATION OF (X) NEW LINES AND (12) ANTENNAS, NEW UNMANNED EQUIPMENT SHELTER AND ALL ASSOCIATED WORK.

DIRECTIONS:

BEGINNING FROM GLOBAL TOWERS OFFICE IN BOCA RATON, FL HEAD WEST ON PARK OF COMMERCE BLVD TOWARD CONGRESS AVE CONTINUE 0.1 MI. TURN LEFT ONTO CONGRESS AVE CONTINUE 0.3 MI. TURN LEFT ONTO YAMATO RD CONTINUE 0.3 MI. TAKE THE RAMP ONTO I-95 S CONTINUE 1.9 MI. TAKE EXIT 45 TO MERGE ONTO FL-808 W/GLADES RD PROCEED FOR 3.4 MI. TURN RIGHT ONTO THE FLORIDA'S TURNPIKE N RAMP TOLL ROAD CONTINUE 0.6 MI. MERGE ONTO FLORIDA'S TURNPIKE/RONALD REAGAN TURNPIKE PARTIAL TOLL ROAD PROCEED FOR 232 MI. MERGE ONTO I-75 N PROCEED FOR 107 MI. TAKE EXIT 435 TO MERGE ONTO I-10 W TOWARD TALLAHASSEE PROCEED FOR 286 MI. TAKE EXIT 10B TO MERGE ONTO US-29 N/PENSACOLA BLVD TOWARD CANTONMENT CONTINUE TO FOLLOW US-29 N PROCEED FOR 6.8 MI. TURN LEFT.

THE CONTRACTOR MUST VERIFY ALL FIELD MEASUREMENTS AND CONDITIONS PRIOR TO BID AND TO COMMENCEMENT OF CONSTRUCTION.



KEY MAP



AREA MAP

SHEET INDEX

SHEET NO.	SHEET DESCRIPTION
T-1	TITLE SHEET
SP-1	GENERAL NOTES, ABBREVIATIONS AND SYMBOLS
SP-2	SPECIFICATIONS
SP-3	SPECIFICATIONS
L-1	SURVEY (BY OTHERS)
C-1	SITE PLAN
C-2	COMPOUND PLAN
C-3	ROAD, FENCE, & COMPOUND SECTION DETAILS
S-1	TOWER ELEVATION & UTILITY RACK
S-2	ANTENNA DETAIL
S-3	COAX AND EQUIPMENT PAD DETAIL
S-4	SHELTER LAYOUT PLAN
S-5	SHELTER ELEVATIONS

GTP DEPARTMENTAL APPROVALS

SIGNED: _____ DATE: _____
PROPERTY OWNER/REP
SIGNED: _____ DATE: _____
SITE ACQUISITION
SIGNED: _____ DATE: _____
CONSTRUCTION
SIGNED: _____ DATE: _____
OPERATIONS

LESSOR / LICENSOR APPROVAL

SIGNED: _____ DATE: _____
PRINTED NAME: _____
PLEASE CHECK: NO CHANGES CHANGES NEEDED (SEE PLANS)

K:\Telecom\Projects\2011\1001682_GTP_MIA_FL_5058_Jack_Branch_Telecom_Drawing\Construction Drawings\Jack_Branch_CD.dwg, 9/20/2011 4:20:15 PM, boravsky

CIVIL SPECIFICATION NOTES

GENERAL NOTES:

- ZONING REGULATIONS AND CONDITIONAL USE PERMITS:
 - A. CLIENT WILL SUBMIT FOR AND OBTAIN ALL ZONING AND CONDITIONAL USE PERMITS. SOME USE PERMITS MAY HAVE SPECIFIC REQUIREMENTS FOR THE SITE RELATED TO CONSTRUCTION, SUCH AS NOISE REGULATIONS, HOURS OF WORK, ACCESS LIMITATIONS, ETC. THE CONSTRUCTION MANAGER WILL INFORM THE CONTRACTOR OF THESE REQUIREMENTS AT THE PRE-BID MEETING OR AS SHOWN IN CONSTRUCTION DOCUMENTS.
- FAA PERMIT AND TOWER LIGHTING:
 - A. REFER TO CONSTRUCTION DOCUMENTS AND CONSTRUCTION MANAGER FOR FAA AND STATE LIGHTING REQUIREMENTS. CONTRACTOR SHALL PROVIDE TEMPORARY FAA APPROVED LIGHTING UNTIL PERMANENT LIGHTING IS OPERATIONAL.
- TOWER SECURITY:
 - A. TOWER SHALL BE FENCED BY CONTRACTOR, TEMPORARILY OR PERMANENTLY WITHIN 24 HOURS OF ERECTION. DO NOT ALLOW THE GATE ACCESSING THE TOWER AREA TO REMAIN OPEN AND UNATTENDED AT ANY TIME FOR ANY REASON. KEEP THE GATE CLOSED AND LOCKED WHEN NOT IN USE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RECEIVING, UNLOADING, AND INSTALLATION FOR PLACEMENT OF NEW CONCRETE SHELTER BUILDING OR CABINETS AND ERECTION OF TOWER.
- CONFLICTS:
 - A. VERIFY ALL MEASUREMENTS AT THE SITE BEFORE ORDERING MATERIAL OR DOING ANY WORK. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED DUE TO DIFFERENCES BETWEEN ACTUAL DIMENSIONS OR DIMENSIONS SHOWN ON PLANS. SUBMIT NOTICE OF ANY DISCREPANCY IN DIMENSIONS OR OTHERWISE TO THE CONSTRUCTION MANAGER FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.
 - B. NO PLEA OF IGNORANCE OF CONDITIONS THAT EXIST, OR OF DIFFICULTIES OF CONDITIONS THAT MAY BE ENCOUNTERED, OR OF ANY OTHER RELEVANT MATTER CONCERNING THE WORK TO BE PERFORMED IN THE EXECUTION OF THE WORK WILL BE ACCEPTED AS AN EXCUSE FOR ANY FAILURE OR OMISSION ON THE PART OF THE CONTRACTOR TO FULFILL EVERY DETAIL OF ALL THE REQUIREMENTS CONTRACT DOCUMENTS GOVERNING THE WORK.
- PHOTOS:
 - A. PROVIDE PHOTOGRAPHIC EVIDENCE OF ALL FOUNDATION INSTALLATION, GROUNDING AND TRENCHING AFTER PLACEMENT OF UTILITIES PRIOR TO BACKFILL.

SITE PREPARATION:

- CONTRACTOR'S SCOPE OF WORK:
 - A. PROTECTION OF EXISTING TREES, VEGETATION AND LANDSCAPING MATERIALS WHICH MIGHT BE DAMAGED BY CONSTRUCTION ACTIVITIES.
 - B. TRIMMING OF EXISTING TREES AND VEGETATION AS REQUIRED FOR PROTECTION DURING CONSTRUCTION ACTIVITIES.
 - C. CLEARING AND GRUBBING OF STUMPS, VEGETATION, DEBRIS, RUBBISH, DESIGNATED TREES, AND SITE IMPROVEMENTS.
 - D. TOPSOIL STRIPPING AND STOCKPILING.
 - E. TEMPORARY EROSION CONTROL, SILTATION CONTROL, AND DUST CONTROL CONFORMING TO LOCAL AND STATE REQUIREMENTS AS APPLICABLE.
 - F. TEMPORARY PROTECTION OF ADJACENT PROPERTY, STRUCTURES, BENCHMARKS, AND MONUMENTS.
 - G. PROTECTION AND TEMPORARY RELOCATION, STORAGE AND REINSTALLATION OF EXISTING FENCING AND OTHER SITE IMPROVEMENTS SCHEDULED FOR REUSE.
 - H. REMOVAL AND LEGAL DISPOSAL OF CLEARED MATERIALS.
- CONTRACTOR'S QUALITY ASSURANCE:
 - A. CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR CONTAINMENT OF SEDIMENT AND CONTROL OF EROSION ON SITE. ANY DAMAGE TO ADJACENT OR DOWNSTREAM PROPERTIES WILL BE CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
 - B. CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AT ALL TIMES. DO NOT ALLOW WATER TO STAND OR POND. ANY DAMAGE TO STRUCTURES OR WORK ON THE SITE CAUSED BY INADEQUATE MAINTENANCE OF DRAINAGE WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ANY COST ASSOCIATED WITH REPAIRS FOR SUCH DAMAGE WILL BE AT THE CONTRACTOR'S EXPENSE.
 - C. CONTRACTOR SHALL PROPERLY DISPOSE ALL WASTE MATERIAL OFF-SITE OR AS DIRECTED BY THE CONSTRUCTION MANAGER AND IN ACCORDANCE WITH JURISDICTIONAL AUTHORITIES.
- PRODUCTS AND MATERIALS (AS APPROVED BY CONSTRUCTION MANAGER OR AS WITHIN THE CONSTRUCTION DOCUMENTS):
 - A. MATERIALS USED FOR TREE PROTECTION, EROSION CONTROL, SILTATION.
 - B. MATERIALS USED FOR DUST CONTROL AS SUITABLE FOR SPECIFIC SITE CONDITIONS.

EARTHWORK:

- CONTRACTOR'S SCOPE OF WORK:
 - A. EXCAVATION, TRENCHING, FILLING, COMPACTION AND GRADING FOR STRUCTURES, SITE IMPROVEMENTS AND UTILITIES.
 - B. MATERIALS FOR SUB-BASE, DRAINAGE FILL, FILL, BACKFILL AND GRAVEL FOR SLABS, PAVEMENTS AND IMPROVEMENTS.
 - C. ROCK EXCAVATION WITHOUT BLASTING.
 - D. SUPPLY OF ADDITIONAL MATERIALS FROM OFF-SITE AS REQUIRED.
 - E. REMOVAL AND LEGAL DISPOSAL OF EXCAVATED MATERIALS AS REQUIRED.
 - F. SITE GRADING.
 - G. PLACEMENT AND COMPACTION OF FILL, SUBGRADE AND GRAVEL SURFACING.
 - H. WHEN REQUIRED, CONSTRUCTION OF COMPOUND, ACCESS ROADS, FENCING AND ALL FOUNDATIONS.
- CONTRACTOR'S QUALITY ASSURANCE:
 - A. COMPACTION: UNDER STRUCTURES, FOUNDATIONS, BUILDING SLABS, PAVEMENTS AND WALKWAYS 95 PERCENT MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 WITH PLUS OR MINUS 3 PERCENT OF OPTIMUM MOISTURE CONTENT.
 - B. GRADING TOLERANCES OUTSIDE BUILDING LINES: LAWNS, UNPAVED AREAS AND WALKS, PLUS OR MINUS 1 INCH. UNDER PAVEMENTS, PLUS OR MINUS 1/2 INCH.
 - C. GRADING TOLERANCE FOR FILL UNDER ALL CONCRETE APPLICATIONS: PLUS OR MINUS 1/2 INCH MEASURED WITH 10 FOOT STRAIGHTEDGE.
 - D. CONTRACTOR MUST REFER TO THE GEOTECH REPORT FOR ALL COMPACTED FILL RECOMMENDATIONS. IF THE GEOTECH REPORT CONFLICTS WITH THE CONSTRUCTION DRAWINGS THEN STOP WORK AND CONTACT THE CLIENT AS SOON AS POSSIBLE.
- PRODUCTS AND MATERIALS (AS APPROVED BY CONSTRUCTION MANAGER OR AS WITHIN CONSTRUCTION DOCUMENTS):
 - A. SUB BASE MATERIAL: GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE OR SLAG AND NATURAL OR CRUSHED SAND.
 - B. WASHED MATERIAL: UNIFORMLY GRADED MIXTURE OF CRUSHED STONE OR GRAVEL WITH 100 PERCENT PASSING A 1-1/2 INCH SIEVE AND NOT MORE THAN 5 PERCENT PASSING A NO. 4 SIEVE.
 - C. GRADING MATERIAL: SATISFACTORY NATIVE OR IMPORTED MATERIALS CONTAINING ROCK OR GRAVEL NOT LARGER THAN 2 INCHES IN ANY DIMENSION. GRADING MATERIAL SHALL NOT INCLUDE DEBRIS, WASTE, FROZEN MATERIALS, AND OTHER UNSUITABLE MATERIALS. IMPORTED MATERIAL SHALL HAVE A FINES CONTENT OF NO MORE THAN 5 PERCENT.
 - D. BACKFILL MATERIALS: SATISFACTORY NON-COHESIVE NATIVE OR IMPORTED SOIL MATERIALS FREE OF CLAY, DEBRIS, WASTE, AND OTHER UNSUITABLE MATERIALS. ROCK OR GRAVEL SHALL NOT EXCEED 4 INCHES IN ANY DIMENSION. IMPORTED MATERIAL SHALL HAVE A FINES CONTENT OF NO MORE THAN 5 PERCENT.
 - E. GRAVEL MATERIAL: EVENLY GRADED MIXTURE OF CRUSHED STONE OR GRAVEL WITH 100 PERCENT PASSING A 1-1/2 INCH SIEVE AND NOT MORE THAN 5 PERCENT PASSING A NO. 4 SIEVE.
 - F. GEOTEXTILE FABRIC: TYPAR 3401 OR EQUIVALENT
- CLEARING AND GRUBBING:
 - A. REMOVE ALL VEGETATION AND MATERIALS TO A MINIMUM DEPTH OF 6 INCHES. REMOVE STUMPS COMPLETELY UNDER FOUNDATIONS AND ROADWAY. DISPOSE OF CLEARING AND GRUBBING OFF-SITE, OR IN AN ON-SITE LOCATION APPROVED BY CONSTRUCTION MANAGER.
- STRIPPING:
 - A. STRIP NOT LESS THAN 3 INCHES OF VEGETATION AND TOPSOIL FROM AREAS THAT WILL UNDERLAY GRAVEL, PAVEMENT, NEW STRUCTURES, OR NEW EMBANKMENTS. STOCKPILE STRIPPED TOPSOIL ON-SITE FOR REUSE IN FINAL LANDSCAPING.
- COMMON WEEDING:
 - A. STERILIZE COMPOUND AREA WITH WEED KILLER/DEFOLIANT. THEN TREAT AREA WITH AN HERBICIDE SUCH AS PARQUET OR EQUIVALENT.
- COMMON EXCAVATION:
 - A. EXCAVATE TO DEPTH, LINES, AND GRADES SHOWN ON THE PLANS OR AS OTHERWISE SPECIFIED.
 - B. TEMPORARILY STOCKPILE ON-SITE EXCAVATION AT AN APPROVED LOCATION WITHIN THE WORK AREA UNTIL SITE GRADING IS COMPLETE. STOCKPILE SHALL NOT EXCEED 15 FEET IN HEIGHT.
 - C. DISPOSE OF EXCESS EXCAVATION OFF-SITE. MATERIALS REMOVED FROM SITE MUST BE DISPOSED OF IN A LEGAL MANNER.

B. EMBANKMENT:

- CONSTRUCT EMBANKMENT TO THE LINES AND GRADES SHOWN ON THE DRAWINGS.
- CONSTRUCT EMBANKMENT FROM ON-SITE EXCAVATION MATERIALS. USE IMPORTED BACKFILL ONLY AFTER AVAILABLE ON-SITE EXCAVATION MATERIALS HAVE BEEN USED.
- CONSTRUCT IN LIFTS OF NOT MORE THAN 9 INCHES IN LOOSE DEPTH. THE FULL WIDTH OF THE CROSS SECTION SHALL BE BROUGHT UP UNIFORMLY.
- MATERIAL SHALL BE PLACED IN LAYERS AND SHALL BE NEAR OPTIMUM MOISTURE CONTENT BEFORE ROLLING TO OBTAIN THE PRESCRIBED COMPACTION. WETTING OR DRYING OF THE MATERIAL AND MANIPULATION TO SECURE A UNIFORM MOISTURE CONTENT THROUGHOUT THE LAYER MAY BE REQUIRED. SUCH OPERATIONS SHALL BE INCLUDED IN THE APPROPRIATE BID ITEM. SHOULD THE MATERIAL BE TOO WET TO PERMIT PROPER COMPACTION, REMOVE AND REPLACE FILL WITH MATERIAL IN CONFORMANCE WITH THESE SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE MATERIAL WITH AN ACCEPTABLE MOISTURE CONTENT.
- WHEN APPLICABLE, DO NOT PLACE FROZEN MATERIAL IN THE EMBANKMENT, AND DO NOT PLACE EMBANKMENT MATERIAL UPON FROZEN MATERIAL.
- FOR THE STABILITY OF EMBANKMENTS AND REPLACE ANY PORTION WHICH HAS BECOME DISPLACED DUE TO THE CONTRACTOR'S OPERATIONS.
- START LAYERS IN THE DEEPEST PORTION OF THE FILL, AND AS PLACEMENT PROGRESSES, CONSTRUCT LAYERS APPROXIMATELY PARALLEL TO THE FINISHED GRADE LINE.
- ROUTE EQUIPMENT, BOTH LOADED AND EMPTY, OVER THE FULL WIDTH OF EMBANKMENT TO ENSURE UNIFORMITY OF MATERIAL PLACEMENT.
- COMPACT EMBANKMENT UNDERLYING NEW GRAVEL PAVING, FLOOR SLABS, AND STRUCTURES TO 95 PERCENT MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 WITH PLUS OR MINUS 3 PERCENT OF OPTIMUM MOISTURE CONTENT. COMPACT NON-STRUCTURAL AREA EMBANKMENTS TO A MINIMUM OF 90 PERCENT OF ASTM D-1557.
- SITE GRADING:
 - A. USING ON-SITE EXCAVATION MATERIALS, SHAPE, TRIM, FINISH, AND COMPACT SURFACE AREAS TO CONFORM TO THE LINES, GRADES, AND CROSS SECTIONS SHOWN ON THE DRAWINGS OR AS DESIGNATED BY THE CONSTRUCTION MANAGER.
 - B. GRADE SURFACES TO DRAIN AND ELIMINATE ANY PONDING OR EROSION.
 - C. ELIMINATE WHEEL RUTS BY REGRADING.
 - D. CONSTRUCT FINISHED SURFACE OF SITE GRADING AREAS WITHIN ONE INCH FROM SPECIFIED GRADE.
- SUBGRADE PREPARATION:
 - A. SHAPE TOP OF SUBGRADE TO THE LINES AND GRADES SHOWN ON THE DRAWINGS.
 - B. MAINTAIN TOP OF SUBGRADE IN A FREE-DRAINING CONDITION.
 - C. DO NOT STOCKPILE MATERIALS ON TOP OF SUBGRADE UNLESS AUTHORIZED BY CONSTRUCTION MANAGER.
 - D. COMPACT THE TOP 6 INCHES OF SUBGRADE TO A 95 PERCENT MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557.
 - E. REMOVE AND REPLACE SOFT SOILS ON AREAS THAT "PUMP" OR DEFORM UNDER WEIGHT OF COMPACTION EQUIPMENT.
 - F. CONSTRUCT TOP OF SUBGRADE WITHIN ONE INCH OF ESTABLISHED GRADE AND CROSS-SECTION.
- GEOTEXTILE FABRIC:
 - A. LAY GEOTEXTILE FABRIC OVER COMPACTED SUBGRADE AS PER CONSTRUCTION DOCUMENTS IN COMPOUND AND UNDER LENGTH OF ROAD (WHEN REQUIRED). LAP ALL JOINTS A MINIMUM OF 12 INCHES.
- GRAVEL SURFACING:
 - A. CONSTRUCT GRAVEL SURFACING AREAS USING CRUSHED AGGREGATE BASE AND FINISH COURSES AS SPECIFIED BY CONSTRUCTION MANAGER OR CONSTRUCTION DOCUMENTS.
 - B. SPREAD GRAVEL AND RAKE TO A UNIFORM SURFACE.

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4610 EISENHOWER BOULEVARD
SUITE 200, TAMPA, FL 33634
PH: 813 888 9500
FAX: 813 884 4288
OFFICES IN NORTH AMERICA AND ASIA



750 PARK OF COMMERCE BLVD.
SUITE 300
BOCA RATON, FL 33487
PH (561) 886-5848
FAX (561) 982-7048



3838 N. CAUSEWAY BLVD, SUITE
3250, METairie, LA 70002



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SCALE:	AS NOTED	JOB NO: 11001682

JACK BRANCH
FL-5058
HIGHWAY 29 NORTH
CANTONMENT, FL 32533

SHEET DESCRIPTION
**GENERAL NOTES,
ABBREVIATIONS
AND SYMBOLS**

SHEET NO.
SP-1

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CIVIL SPECIFICATION NOTES

TRENCHING:

CONTRACTOR MUST NOTIFY "ONE-CALL" UTILITY LOCATING SERVICE THREE DAYS PRIOR TO CONSTRUCTION TO FLAG ALL UNDERGROUND UTILITIES.

1. MATERIALS:

A. FILL MATERIAL SHALL BE OBTAINED, TO THE MAXIMUM EXTENT POSSIBLE, FROM EXCAVATIONS ON-SITE. THE STRUCTURAL FILL SHOULD BE SAND AND SHALL BE APPROVED BY THE CONSTRUCTION MANAGER AND SHALL CONFORM TO LOCAL GOVERNING JURISDICTION AND UTILITY COMPANY REQUIREMENTS. THE FILL MATERIAL SHALL BE FREE FROM PERCEPTIBLE AMOUNTS OF WOOD, DEBRIS OR TOPSOIL AND SHALL NOT CONTAIN MARBLE OR OTHER ELEMENTS, WHICH TEND TO KEEP IT IN A PLASTIC STATE. MATERIALS DESIGNATED AS HAZARDOUS OR INDUSTRIAL BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA) ARE TO BE AVOIDED. THE FILL MATERIAL SHALL CONTAIN FINES SUFFICIENT TO FILL ALL VOIDS IN THE MATERIAL.

2. PIPE DETECTION AND IDENTIFICATION:

A. UTILIZING WARNING TAPE: ALL ELECTRIC SERVICE TRENCHES SHALL BE MARKED WITH WARNING TAPE.

3. TRENCH EXCAVATION:

A. DIG TRENCH TO LINES AND GRADES SHOWN ON THE PLANS OR AS DIRECTED BY CONSTRUCTION MANAGER.

B. TRENCH WIDTH SHALL BE SUFFICIENT TO ALLOW FOR SATISFACTORY CONSTRUCTION AND INSPECTION OF THE PROJECT, WITHOUT ENDANGERING OTHER CONSTRUCTION WORK OR ADJACENT FACILITIES.

C. DISPOSAL OF EXCESS AND UNSUITABLE EXCAVATION MATERIAL PROPERLY, AS DIRECTED BY CONSTRUCTION MANAGER.

D. USE HAND METHODS FOR EXCAVATION THAT CANNOT BE ACCOMPLISHED WITHOUT ENDANGERING EXISTING OR NEW STRUCTURES OR OTHER FACILITIES.

4. TRENCH PROTECTION:

A. PROVIDE MATERIALS, LABOR, AND EQUIPMENT NECESSARY TO PROTECT TRENCHES AT ALL TIMES.

B. SHEETING AND BRACING: MEET OR EXCEED OSHA REQUIREMENTS.

5. BACKFILLING:

A. A PRELIMINARY EARTH RESISTIVITY TEST SHALL BE PERFORMED PRIOR TO BACKFILLING.

B. BACKFILL AND/OR BEDDING SHALL NOT BE PLACED IN A TRENCH UNTIL THE TRENCH WORK AND BACKFILL HAS BEEN INSPECTED AND APPROVED BY THE CLIENT. CONTRACTOR TO NOTIFY CLIENT'S CONSTRUCTION MANAGER AT LEAST 24 HOURS IN ADVANCE OF EXPECTED BACKFILL.

C. IF BACKFILL MATERIAL IS NOT SUITABLE (CONTAINS DEBRIS OR ROCK), REPLACE WITH A LOW RESISTANCE GROUND ENHANCEMENT MATERIAL.

D. WHENEVER CLIENT REQUIRES THE REMOVAL OF WET OR OTHERWISE UNSTABLE SUBGRADE FROM THE FILL MATERIAL PREVIOUSLY PLACED BY THE CONTRACTOR, THE CONTRACTOR SHALL BEAR THE COST OF ALL REMOVAL OF UNSTABLE SOIL AND WITH BACKFILLING OF THE TRENCH.

E. BACKFILL SHALL BE PLACED AND PACKED DOWN TIGHTLY TO ACHIEVE 95 PERCENT MAXIMUM DRY DENSITY AS OBTAINED THROUGH THE STANDARD PROCTOR METHOD (ASTM D-698).

F. FOLLOWING AN APPROVED INSPECTION, BACKFILL MATERIAL SHALL BE DEPOSITED IN THE TRENCH WITH HAND SHOVELS (NOT BY MEANS OF WHEELBARROWS, CARTS, TRUCKS, BULLDOZERS, OR SIMILAR EQUIPMENT) IN 4" LAYERS AND COMPACTED BY MECHANICAL TAMPERS UNTIL THE CONDUCTOR OR PIPE HAS A COVER OF NOT LESS THAN 12" THE REMAINDER OF THE BACKFILL MATERIAL SHALL THEN BE DEPOSITED IN THE TRENCH IN 8" LAYERS AND MECHANICALLY COMPACTED.

G. PROTECT CONDUIT FROM LATERAL MOVEMENT, DAMAGE FROM IMPACT OR UNBALANCED LOADING TO AVOID DISPLACEMENT OF CONDUIT AND/OR STRUCTURES. ANY SUBSEQUENT SETTLEMENT SHALL BE CONSIDERED THE RESULT OF IMPROPER COMPACTION AND SHALL BE PROMPTLY CORRECTED.

H. IF REQUIRED COMPACTION DENSITY HAS NOT BEEN OBTAINED, REMOVE THE BACKFILL FROM THE TRENCH OR STRUCTURE, REPLACE WITH APPROVED BACKFILL, AND RECOMPACT AS SPECIFIED.

CHAIN LINK FENCES AND GATES

1. GENERAL:

A. PROVIDE CHAIN LINK FENCES AND GATES AS COMPLETE UNITS BY A SINGLE SUPPLY SOURCE INCLUDING NECESSARY ERECTION ACCESSORIES, FITTINGS, AND FASTENINGS.

2. PRODUCTS AND MATERIALS (AS APPROVED BY CONSTRUCTION MANAGER OR AS WITHIN CONSTRUCTION DOCUMENTS):

A. REFER TO DRAWINGS FOR FABRIC HEIGHT AND OVER WITH 2-INCH MESH SHALL BE KNUCKLED AT ONE SELVAGE AND TWISTED AT THE OTHER; ALL MESHES 60 INCHES HIGH AND UNDER SHALL BE KNUCKLED AT BOTH SELVAGES.

B. STEEL FABRIC:

COMPLY WITH CHAIN LINK FENCE MANUFACTURER'S INSTITUTE (CLFMI) PRODUCT MANUAL. FURNISH ONE PIECE OF FABRIC WIDTHS. WIRE SIZE INCLUDES ZINC OR ALUMINUM COATING.

1. SIZE: 2-INCH MESH, 9 GAUGE (0.148-INCH DIAMETER) WIRE.

2. GALVANIZED STEEL FINISH: ASTM A392, CLASS 2, WITH A MINIMUM 2.0 OZ. ZINC PER SQ. FT. OF UNCOATED WIRE SURFACE.

C. FRAMEWORK AND ACCESSORIES:

1. GENERAL REQUIREMENTS: EXCEPT AS INDICATED OTHERWISE, CONFORM TO THE CHAIN LINK FENCE MANUFACTURERS INSTITUTE (CLFMI) PRODUCT MANUAL, INDUSTRIAL STEEL GUIDE FOR FENCE RAILS, POSTS, GATES AND ACCESSORIES.

2. STRENGTH REQUIREMENTS FOR POSTS AND RAILS CONFORMING TO ASTM F1043.

3. TYPE 1 PIPE: HOT-DIPPED GALVANIZED STEEL PIPE CONFORMING TO ASTM F1083, PLAN ENDS, STANDARD WEIGHT (SCHEDULE 40) WITH NOT LESS THAN 1.8 OZ. ZINC PER SQ. FT. OF SURFACE AREA COATED.

4. FITTINGS: COMPLY WITH ASTM F626, MILL FINISHED ALUMINUM OR GALVANIZED STEEL, TO SUIT MANUFACTURER'S STANDARDS.

5. TOP RAIL: MANUFACTURER'S LONGEST LENGTHS, WITH EXPANSION TYPE COUPLINGS, APPROXIMATELY 6 INCHES LONG, FOR EACH JOINT. PROVIDE MEANS FOR ATTACHING TOP RAIL SECURELY TO EACH GATE CORNER, FULL AND END POST.

A. GALVANIZED STEEL: 1-1/4 INCH NPS (1.66 INCH OD) TYPE I OR II STEEL PIPE OR 1.625 INCH X 1.25 INCH ROLL-FORMED C SECTIONS WEIGHING 1.35 LBS. PER FT.

D. SWING GATES:

COMPLY WITH ASTM F900. PROVIDE HARDWARE AND ACCESSORIES FOR EACH GATE, GALVANIZED PER ASTM A153, AND IN ACCORDANCE WITH THE FOLLOWING:

1. HINGES: NON-LIFT-OFF TYPE, OFFSET TO PERMIT 180 DEG. GATE OPENING.

2. LATCH: FORKED TYPE OR PLUNGER-BAR TYPE TO PERMIT OPERATION FROM EITHER SIDE OF GATE, WITH PADLOCK EYE AS INTEGRAL PART OF LATCH.

3. KEEPER: PROVIDE KEEPER FOR VEHICLE GATES, WHICH AUTOMATICALLY ENGAGES GATE LEAF AND HOLDS IT IN OPEN POSITION UNTIL MANUALLY RELEASED.

4. GATE STOPS: PROVIDE GATE STOPS FOR DOUBLE GATES, CONSISTING OF 2" O.D. X 12" LONG PIPE GATE KEEPER, EMBEDDED IN CONCRETE, AND DESIGNED TO ENGAGE CENTER DROP ROD OR PLUNGER BAR, AND DESIGNED TO ENGAGE CENTER DROP ROD OR PLUNGER BAR. INCLUDE LOCKING DEVICE AND PADLOCK EYES AS INTEGRAL PART OF LATCH, PERMITTING BOTH GATE LEAVES TO BE LOCKED WITH SINGLE PADLOCK.

E. CONCRETE:

PROVIDE CONCRETE CONSISTING OF PORTLAND CEMENT, ASTM C150, AGGREGATES ASTM C33, AND CLEAN WATER.

GROUNDING NOTES:

1. BUSS CONNECTORS SHALL BE 2-HOLE LONG BARREL TYPE COMPRESSION LUGS. LUGS SHALL BE ATTACHED TO BUSES USING BOLTS, NUTS AND STAR AND LOCK WASHERS. NO WASHERS ARE ALLOWED BETWEEN THE ITEMS BEING GROUNDED.

2. SURFACE CONNECTIONS SHALL BE MADE TO BARE METAL. PAINTED SURFACES SHALL BE FILED TO ENSURE PROPER CONTACT. APPLY NON-OXIDIZING AGENT TO CONNECTIONS.

3. COPPER BUSES SHALL BE CLEANED, POLISHED, AND A NON-OXIDIZING AGENT APPLIED. NO FINGERPRINTS OR DISCOLORED COPPER WILL BE PERMITTED.

4. GROUND CONDUCTOR RUNS SHALL BE STRAIGHT AS POSSIBLE, WITH AN 8-INCH MINIMUM RADIUS FOR #6 CONDUCTORS AND 12" FOR #2 AND LARGER CONDUCTORS.

5. HARDWARE (I.E., NUTS BOLTS, WASHERS, ETC.) IS TO BE STAINLESS STEEL.

6. GROUND COAXIAL CABLES AT POINTS SHOWN ON GROUNDING RISER DIAGRAM WITH MANUFACTURER'S GROUNDING KITS.

7. GROUNDING CONNECTIONS SHALL BE EXOTHERMIC TYPE (CADWELD) TO GROUND RING AND GROUND RODS. REMAINING GROUNDING CONNECTIONS SHALL BE MECHANICAL CONNECTIONS. CONNECTIONS TO GROUND BARS SHALL BE MADE WITH TWO-HOLE LUGS.

8. GROUND RING COMPRISED OF #2 AWG SOLID TINNED COPPER CONDUCTOR SHALL HAVE A MINIMUM DISTANCE OF 24" FROM THE STRUCTURE AND BE BURIED A MINIMUM OF 30" BELOW GRADE.

9. CADWELD GROUND RODS TO GROUND RING. RODS TO BE 5/8"x10" COPPER CLAD STEEL WITH COPPER JACKET OF NOT LESS THAN 0.01 INCHES THICK. THE TOP OF GROUND ROD SHALL EXTEND NO MORE THAN 6 INCHES ABOVE THE BOTTOM OF THE TRENCH.

10. INSTALL GROUND RODS ON GROUND RING AT 8' INTERVALS. INSTALL GROUND RODS TO FENCE POSTS AT 16' INTERVALS.

11. ALL ELECTRICAL GROUNDING SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE LATEST EDITION OF NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 780, APPROVED BY LOCAL AUTHORITY.

12. ALL GROUNDING CONNECTIONS SHALL BE COATED WITH AN ANTI-CORROSIVE AGENT SUCH AS T & B KOPR SHIELD, "NO-OXY", "NOALOX" OR "PENETROX". VERIFY PRODUCT WITH PROJECT MANAGER.

13. GROUND WIRES SHALL BE #2 AWG SOLID TINNED STRANDED COPPER FROM CONDUCTOR FOR BONDING CONNECTIONS UNLESS OTHERWISE NOTED ON PLANS.

14. DOCUMENT GROUND RING INSTALLATION AND CONNECTIONS WITH PHOTOGRAPHS PRIOR TO BACK FILLING SITE. PRESENT PHOTO ARCHIVE AT SITE "PUNCH LIST" WALK TO GLOBAL TOWER PARTNERS REPRESENTATIVE.

15. THE ENTIRE SYSTEM SHALL BE SOLIDLY GROUNDED USING LOCK NUTS AND BONDING NUTS ON CONDUITS AND PROPERLY BONDED GROUND CONDUCTORS. RECEPTACLES AND EQUIPMENT BRANCH CIRCUITS SHALL BE GROUNDED WITH A FULL-SIZED EQUIPMENT GROUNDING CONDUCTOR RUN IN THE CIRCUIT'S CONDUIT.

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SUITE 200, TAMPA, FL 33634
PH: 813 888 9500
FAX: 813 888 4288
OFFICES IN NORTH AMERICA AND ASIA



750 PARK OF COMMERCE BLVD.
SUITE 300
BOCA RATON, FL 33487
PH (561) 886-5848
FAX (561) 982-7048



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JACK BRANCH
FL-5058
HIGHWAY 29 NORTH
CANTONMENT, FL 32533

SHEET DESCRIPTION

SPECIFICATIONS

SHEET NO.













SP-2


STRUCTURAL NOTES:

- INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED BY FIELD MEASUREMENT. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH CONSTRUCTION.
- THE GENERAL CONTRACTOR AND HIS SUB CONSULTANTS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK.
- STRUCTURAL STEEL SHALL CONFORM TO SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS, AISC 360-05 INCLUDING THE COMMENTARY AND THE AISC CODE OF STANDARD PRACTICE.
- STRUCTURAL STEEL PLATES, ANGLES, AND CHANNELS SHALL CONFORM TO ASTM A36. STRUCTURAL STEEL PIPES SHALL CONFORM TO ASTM A53 GRADE B. STRUCTURAL STEEL BEAMS SHALL CONFORM TO ASTM A992, GRADE 50. ALL STRUCTURAL STEEL TUBING SHALL CONFORM TO ASTM A500 GRADE B. ALL STRUCTURAL STEEL COMPONENTS AND FABRICATED ASSEMBLIES SHALL BE HOT DIP GALVANIZED-ASTM A123 AFTER FABRICATION. FIELD TOUCH UP WITH 3 COATS OF ZINC RICH PAINT ALL RAW EDGES AND/OR AREAS WHERE THE GALVANIZED FINISH HAS BEEN DISTURBED (ALL EXISTING AND NEW AREAS).
- WELDING SHALL BE IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY (AWS D1.1). STRUCTURAL WELDING CODE-STEEL WELD ELECTRODES SHALL BE E70XX. FIELD TOUCH UP WITH ZINC RICH PAINT (ALL EXISTING AND NEW AREAS) AFTER WELDING IS COMPLETE.
- ALL THREADED STRUCTURAL FASTENERS FOR ANTENNA SUPPORT ASSEMBLIES SHALL CONFORM TO ASTM A307 OR ASTM A36. ALL STRUCTURAL FASTENERS FOR STRUCTURAL STEEL FRAMING SHALL CONFORM TO ASTM A325. FASTENERS SHALL BE 5/8 INCH MIN. UNLESS NOTED OTHERWISE. DIAMETER BEARING TYPE CONNECTIONS WITH THREADS EXCLUDED IN THE SHEAR PLANE. ALL EXPOSED FASTENERS, NUTS AND WASHERS SHALL BE GALVANIZED UNLESS OTHERWISE NOTED. CONCRETE EXPANSION ANCHORS SHALL BE HILTI KWIK BOLTS UNLESS OTHERWISE NOTED. ALL ANCHORS INTO CONCRETE SHALL BE STAINLESS STEEL.
- ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60, DEFORMED BILLET STEEL BARS. WELDED WIRE FABRIC REINFORCING SHALL CONFORM TO ASTM A185.
- CONCRETE FOR THE FOUNDATION PAD SHALL BE 4000 PSI NORMAL WEIGHT CONCRETE. CONCRETE STRENGTH SHALL BE VERIFIED BY CONCRETE CYLINDER TESTS (A MINIMUM SET OF FOUR CYLINDERS). PROVIDE 4 TO 6% AIR ENTRAINMENT FOR ALL CONCRETE SUBJECT TO FREEZE - THAW CYCLE.
- MINIMUM CONCRETE COVER REINFORCEMENT SHALL BE 2" UNLESS NOTED OTHERWISE. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH SHALL HAVE A MINIMUM CONCRETE COVER OF 3".
- CONTRACTOR SHALL COORDINATE ALL PENETRATIONS, CONDUIT, CHAMFERS, AND EMBEDDED ITEMS PRIOR TO CONCRETE PLACEMENT AND/OR STEEL ERECTION. CONTRACTOR SHALL VERIFY ALL SIZES AND LOCATIONS.
- DO NOT IMPOSE SERVICE LOAD (I.E. FLOOR DEAD AND LIVE LOADS, BACKFILL, ETC.) UNTIL THE CONCRETE HAS REACHED ITS SPECIFIED MINIMUM COMPRESSIVE STRENGTH.
- BACKFILL SHALL BE CLEAN SAND FILL APPROVED FOR USE BY THE ENGINEER. NO UNAPPROVED MATERIAL WILL BE ALLOWED. CLEAN SAND FILL SHALL BE FREE OF ALL ROOTS, BOULDERS, OR OTHER DELETERIOUS MATERIAL.
- SOIL SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY TO A MINIMUM OF 2 FEET BELOW THE BOTTOM OF THE FOOTINGS, AND SHALL OBTAIN A 2000 PSF MINIMUM ALLOWABLE BEARING CAPACITY.


IT IS THE CLIENT'S RESPONSIBILITY TO VERIFY THE STRUCTURAL CAPACITY OF THE PROPOSED TOWER AND ITS FOUNDATION TO RESIST THE WIND/GRAVITY LOADS FROM THE PROPOSED STRUCTURES.

ABBREVIATIONS & SYMBOLS LIST


A/C	AIR CONDITIONING	REQ'D	REQUIRED		NORTH ARROW
ADJ.	ADJUSTABLE	RGS	RIGID GALVANIZED STEEL		ELEVATION
AFF	ABOVE FINISH FLOOR	R.O.	ROUGH OPENING		SECTIONS & DETAILS
APPROX.	APPROXIMATELY	R.O.W.	RIGHT-OF-WAY		BRICK
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	S	SOUTH		CONCRETE
AWG	AMERICAN WIRE GAUGE	S.O.	SERVICE GRADE OIL RESISTANT		EARTH
BTS	BASE TRANSMISSION STATION	SHT	SHEET		GRAVEL
BLDG.	BUILDING	SIM.	SIMILAR		STEEL
BLK.	BLOCK	SPEC.	SPECIFICATION		METER
B/S	BUILDING STANDARD	XXX.XX'	SPOT ELEVATION		GROUND
CIGBE	GROUND BAR	SQ.	SQUARE		REVISION
CLG	CEILING	SF	SQUARE FOOT		KEYNOTE
CLR.	CLEAR	SS	STAINLESS STEEL		
CONC.	CONCRETE	STL	STEEL		
CONST.	CONSTRUCTION	STRUCT.	STRUCTURAL		
CONT.	CONTINUOUS	THRU	THROUGH		
C.P.C.I.	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	T.O.C.	TOP OF CONCRETE		
DBL.	DOUBLE	T.O.M.	TOP OF MASONRY		
DIA.	DIAMETER	TYP	TYPICAL		
DIAG.	DIAGONAL	UBC	UNIFORM BUILDING CODE		
DIM.	DIMENSION	VERT.	VERTICAL		
DN	DOWN	VF	VERIFY IN FIELD		
DTL.	DETAIL	V	VOLT		
DWG.	DRAWING	W	WEST		
E	EAST	W	WIRE		
EA	EACH	W/	WITH		
EL., ELEV.	ELEVATION	W/O	WITHOUT		
ELECT.	ELECTRICAL	W.P.	WEATHERPROOF		
EMT	ELECTRICAL METALLIC TUBING	XFMR	TRANSFORMER		
EQ.	EQUAL				
EQUIP.	EQUIPMENT				
E.W.	EACH WAY				
EXIST.	EXISTING				
EXT.	EXTERIOR				
FIN.	FINISH				
FLR	FLOOR				
FT.	FOOT				
GRG.	GALVANIZED RIGID CONDUIT				
G. OR GRD.	GROUND				
GA.	GALVANIZED				
GALV.	GALVANIZED				
GC	GENERAL CONTRACTOR				
GEN	GENERATOR				
HORIZ.	HORIZONTAL				
HR	HOUR				
HT.	HEIGHT				
HVAC	HEATING, VENTILATING AND AIR CONDITIONING				
I.D.	INSIDE DIA.				
IN.	INCH				
INFO	INFORMATION				
INSUL.	INSULATION				
INT.	INTERIOR				
INT.	INTERIOR				
KVA	KILOVOLTS-AMPERE				
KW	KILOWATT				
LB(S)	POUND(S)				
MGB	MASTER GROUND BAR				
MAX.	MAXIMUM				
MECH.	MECHANICAL				
MFR.	MANUFACTURER				
MGR.	MANAGER				
MIN.	MINIMUM				
MISC.	MISCELLANEOUS				
MTD.	MOUNTED				
NEC	NATIONAL ELECTRICAL CODE				
NEUT.	NEUTRAL				
N	NORTH				
NA	NOT APPLICABLE				
NIC	NOT IN CONTRACT				
NOC	NETWORK OPERATIONS CENTER				
NPS	NOMINAL PIPE SIZE				
N.T.S.	NOT TO SCALE				
O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED				
OC, o/c	ON CENTER				
OPP	OPPOSITE				
OD	OUTSIDE DIAMETER				
OHP	OVERHEAD POWER				
OHT	OVERHEAD TELEPHONE				
OHU	OVERHEAD UTILITY LINES				
PLYWD.	PLYWOOD				
PR	PAIR				
PH	PHASE				
PVC	POLYVINYL CHLORIDE				
PROJ	PROJECT				
PROP	PROPERTY				
PT	PRESSURE TREATED				
RECPT.	RECEPTACLE				



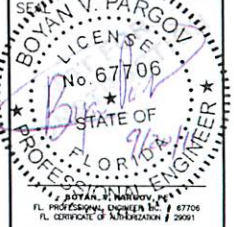
4610 EISENHOWER BOULEVARD
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PH: 813 888 9500
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3838 N. CAUSEWAY BLVD, SUITE
3250, METairie, LA 70002



BOYAN V. FARGOY
LICENSED PROFESSIONAL ENGINEER
No. 67706
STATE OF FLORIDA
FL PROFESSIONAL ENGINEER No. 67706
FL LICENSE OF REGISTRATION 20081

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JACK BRANCH
FL-5058
HIGHWAY 29 NORTH
CANTONMENT, FL 32533

SHEET DESCRIPTION

SPECIFICATIONS

SHEET NO.

SP-3

All Tracecon Projects 2011 11/30/2011 GTP-MAA FL-5058 Jack Branch Tracecon Drawings Construction Drawings/Usak Branch CD 6/15 10/20/2011 4:29:59 P.M. Nowak

THE CONTRACTOR MUST FIELD VERIFY ALL MEASUREMENTS AND FIELD CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

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SUITE 300
BOCA RATON, FL 33487
PH (561) 886-5848
FAX (561) 982-7048



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NEW ORLEANS, LA 70002



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JACK BRANCH
FL-5058
HIGHWAY 29 NORTH
CANTONMENT, FL 32533

SHEET DESCRIPTION

SITE PLAN

SHEET NO.

C-1



K15: Telecom Projects\2011\11001682 - GTP-MIA_FL-5058-Jack Branch\Construction Drawings\Jack Branch_CD.dwg, 9/20/2011 4:26:11 PM, tobravsky



LONNIE KING.
OFFICIAL RECORDS BOOK 2997, PAGE 938
TAX PARCEL ID# 212N31120000006
ZONING: VR-2 (VILLAGES AND RURAL RESIDENTIAL)
EU: RURAL RESIDENTIAL
FLU: RC (RURAL COMMUNITIES)

LONNIE KING.
OFFICIAL RECORDS BOOK 2650, PAGE 955
TAX PARCEL ID# 212N311101000001
ZONING: V-2 (VILLAGES SINGLE-FAMILY RESIDENTIAL)
EU: AGRICULTURAL
FLU: RC (RURAL COMMUNITIES)

RONALD E. SMITH, JR. & DENISE SMITH
OFFICIAL RECORDS BOOK 6298, PAGE 329
TAX PARCEL ID# 212N311101000003
ZONING: VAG-2 (VILLAGES AGRICULTURE)
EU: AGRICULTURAL
FLU: RC (RURAL COMMUNITIES)

BOBBY D. EVERS
OFFICIAL RECORDS BOOK 6248, PAGE 888
TAX PARCEL ID# 212N311101000003
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EU: AGRICULTURAL
FLU: RC (RURAL COMMUNITIES)

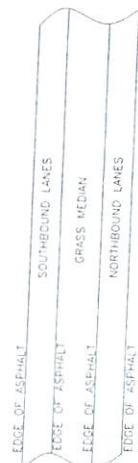
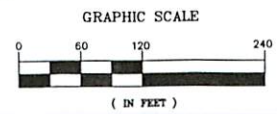
PARENT PARCEL
CHRISTINE I. MARKS, TRUSTEE FOR THE
CHRISTINE T. MARKS TRUST
OFFICIAL RECORDS BOOK 5333, PAGE 399
TAX PARCEL ID# 212N311301000000
ZONING: VAG-2 (VILLAGES AGRICULTURE)
EU: AGRICULTURAL
FLU: RC (RURAL COMMUNITIES)

ROBERTO J. MUNOZ &
PATRICIA K. MUNOZ
OFFICIAL RECORDS BOOK 5362, PAGE 1095
TAX PARCEL ID# 212N311101006003
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EU: AGRICULTURAL
FLU: RC (RURAL COMMUNITIES)

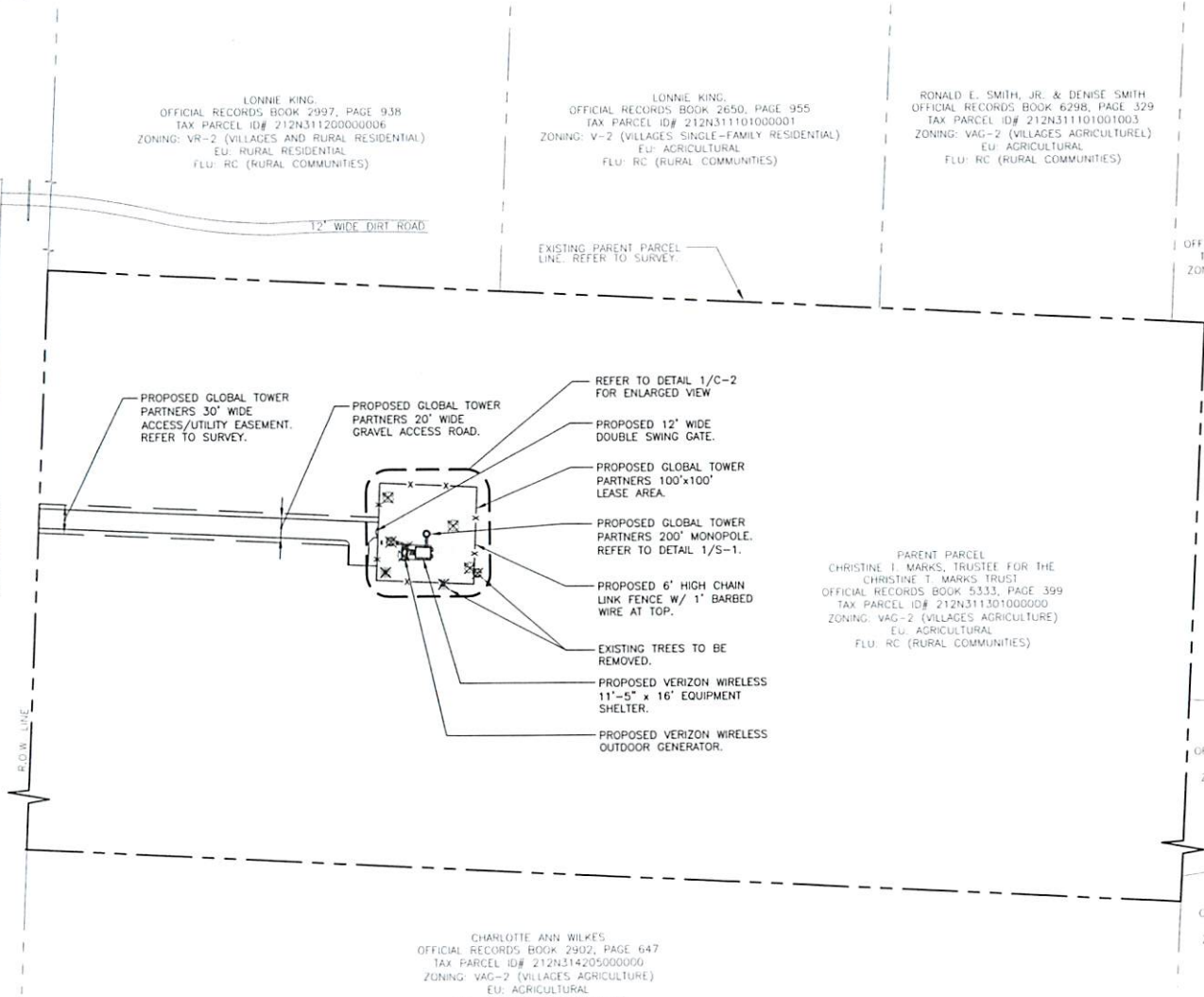
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OFFICIAL RECORDS BOOK 6248, PAGE 888
TAX PARCEL ID# 212N311101000003
ZONING: VAG-2 (VILLAGES AGRICULTURE)
EU: AGRICULTURAL
FLU: RC (RURAL COMMUNITIES)

CHARLOTTE ANN WILKES
OFFICIAL RECORDS BOOK 2902, PAGE 647
TAX PARCEL ID# 212N314205000000
ZONING: VAG-2 (VILLAGES AGRICULTURE)
EU: AGRICULTURAL
FLU: RC (RURAL COMMUNITIES)

1 SITE PLAN
SCALE: 1" = 120'
SCALE BASED ON 11"x17" ONLY



U.S. HIGHWAY NO. 29
(200' WIDE R.O.W.)



- PROPOSED GLOBAL TOWER PARTNERS 30' WIDE ACCESS/UTILITY EASEMENT. REFER TO SURVEY.
- PROPOSED GLOBAL TOWER PARTNERS 20' WIDE GRAVEL ACCESS ROAD.
- REFER TO DETAIL 1/C-2 FOR ENLARGED VIEW
- PROPOSED 12' WIDE DOUBLE SWING GATE.
- PROPOSED GLOBAL TOWER PARTNERS 100'x100' LEASE AREA.
- PROPOSED GLOBAL TOWER PARTNERS 200' MONOPOLE. REFER TO DETAIL 1/S-1.
- PROPOSED 6' HIGH CHAIN LINK FENCE W/ 1' BARBED WIRE AT TOP.
- EXISTING TREES TO BE REMOVED.
- PROPOSED VERIZON WIRELESS 11'-5" x 16' EQUIPMENT SHELTER.
- PROPOSED VERIZON WIRELESS OUTDOOR GENERATOR.

EXISTING PARENT PARCEL LINE. REFER TO SURVEY.

12' WIDE DIRT ROAD

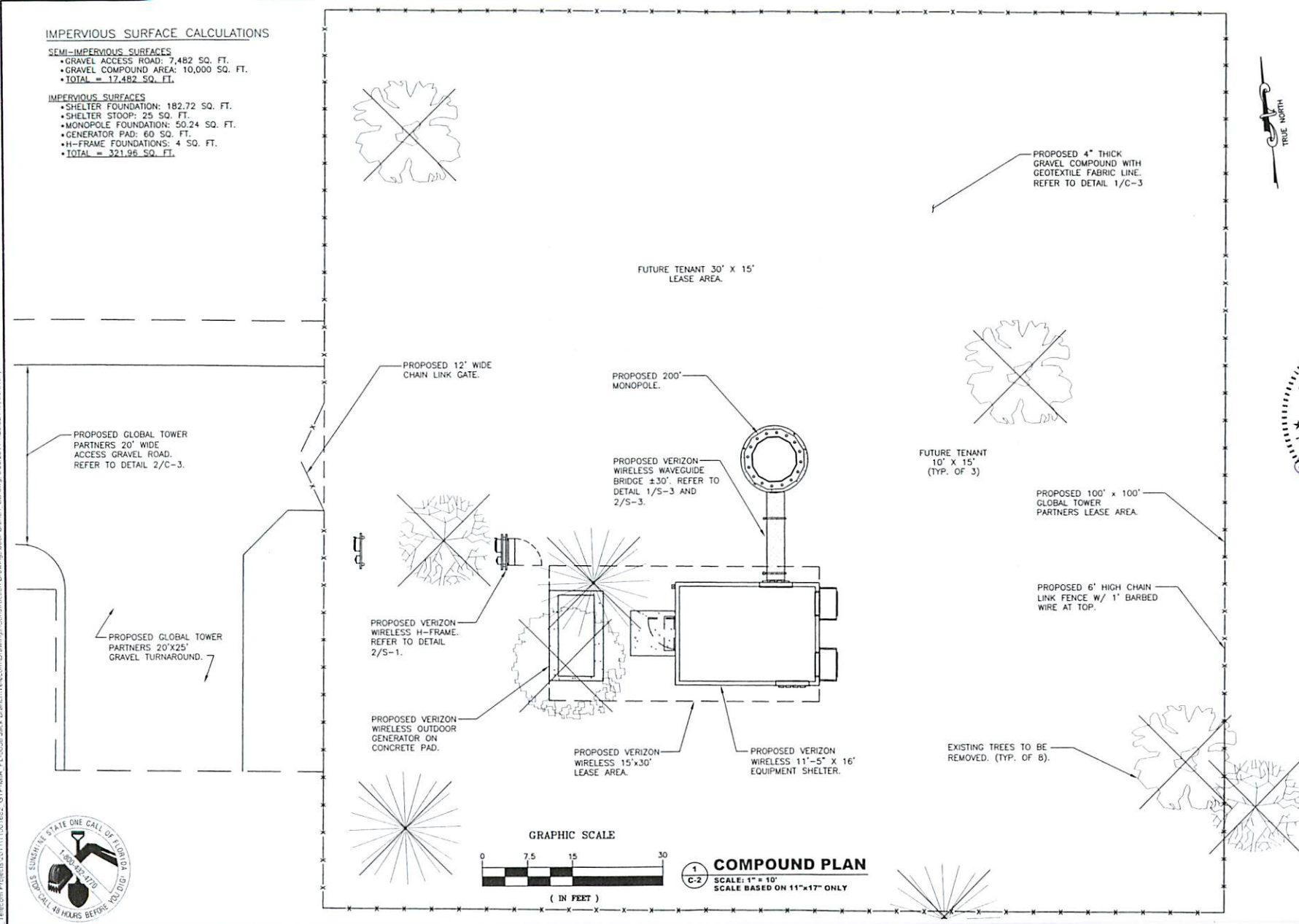
IMPERVIOUS SURFACE CALCULATIONS

SEMI-IMPERVIOUS SURFACES

- GRAVEL ACCESS ROAD: 7,482 SQ. FT.
- GRAVEL COMPOUND AREA: 10,000 SQ. FT.
- TOTAL = 17,482 SQ. FT.

IMPERVIOUS SURFACES

- SHELTER FOUNDATION: 182.72 SQ. FT.
- SHELTER STOOP: 25 SQ. FT.
- MONOPOLE FOUNDATION: 50.24 SQ. FT.
- GENERATOR PAD: 60 SQ. FT.
- H-FRAME FOUNDATIONS: 4 SQ. FT.
- TOTAL = 321.96 SQ. FT.



PROPOSED 4" THICK GRAVEL COMPOUND WITH GEOTEXTILE FABRIC LINE. REFER TO DETAIL 1/C-3

FUTURE TENANT 30' X 15' LEASE AREA.

FUTURE TENANT 10' X 15' (TYP. OF 3)

PROPOSED 100' X 100' GLOBAL TOWER PARTNERS LEASE AREA.

PROPOSED 6' HIGH CHAIN LINK FENCE W/ 1' BARBED WIRE AT TOP.

EXISTING TREES TO BE REMOVED. (TYP. OF 8).

PROPOSED 12' WIDE CHAIN LINK GATE.

PROPOSED 200' MONOPOLE.

PROPOSED VERIZON WIRELESS WAVEGUIDE BRIDGE ±30'. REFER TO DETAIL 1/S-3 AND 2/S-3.

PROPOSED VERIZON WIRELESS H-FRAME. REFER TO DETAIL 2/S-1.

PROPOSED VERIZON WIRELESS OUTDOOR GENERATOR ON CONCRETE PAD.

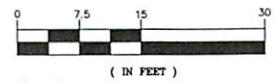
PROPOSED VERIZON WIRELESS 15'X30' LEASE AREA.

PROPOSED VERIZON WIRELESS 11'-5" X 16' EQUIPMENT SHELTER.

PROPOSED GLOBAL TOWER PARTNERS 20' WIDE ACCESS GRAVEL ROAD. REFER TO DETAIL 2/C-3.

PROPOSED GLOBAL TOWER PARTNERS 20'X25' GRAVEL TURNAROUND.

GRAPHIC SCALE



1
C-2
SCALE: 1" = 10'
SCALE BASED ON 11"x17" ONLY

(IN FEET)

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SUITE 200, TAMPA, FL 33634
PH: 8 1 3 8 8 8 9 5 0 0
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750 PARK OF COMMERCE BLVD.
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BOCA RATON, FL 33487
PH (561) 886-5848
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3838 WILSON BLVD, SUITE 2002
BOCA RATON, FL 33487



RYAN V. FARGOV, PE
FL PROFESSIONAL ENGINEER LIC. # 67706
FL CERTIFICATE OF AUTHORIZATION # 20091

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SCALE: AS NOTED JOB NO: 11001682

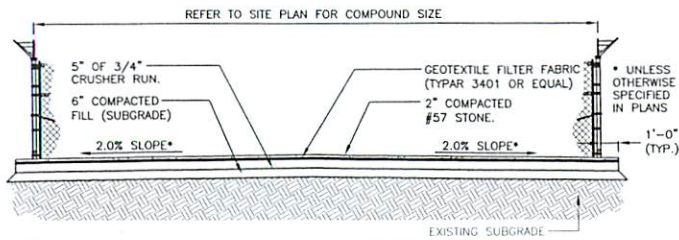
JACK BRANCH
FL-5058
HIGHWAY 29 NORTH
CANTONMENT, FL 32533

SHEET DESCRIPTION
COMPOUND PLAN

SHEET NO.
C-2

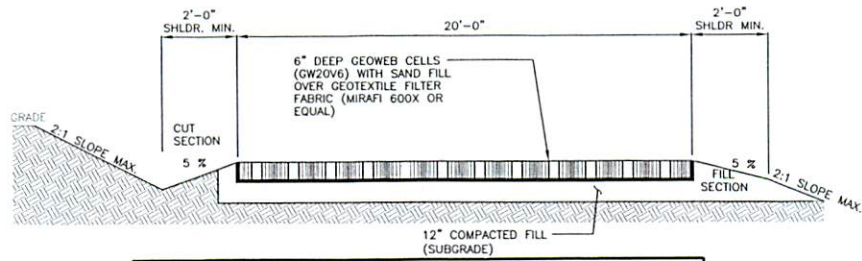
K5, Telecom Projects 20111001682, GTP-MA, FL-5058, Jack Branch/Telecom/Drawings/Comp/Drawings/Comp Branch, CD.dwg, 0/20/2011 4:26:32 PM, totravsky





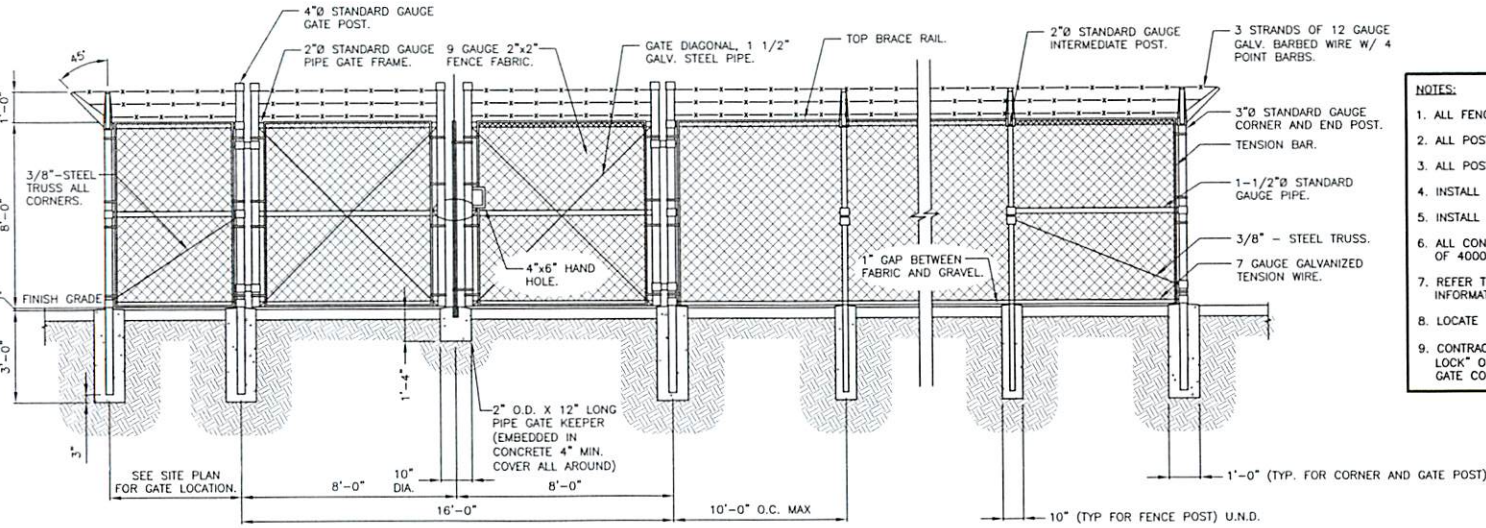
- NOTES:**
- SITE WILL BE GRADED TO ALLOW DRAINAGE AWAY FROM TOWER AND SHELTER.
 - PRIOR TO LAYING THE STONE, THE COMPOUND SHOULD BE CLEARED OF ALL ORGANIC MATTER, STERILIZED WITH WEED KILLER, AND THEN TREATED WITH HERBICIDE.
 - AFTER PROJECT COMPLETION ALL DISTURBED AREAS MUST BE SEEDED WITH LOW MAINTENANCE GRASS.
 - STONE SHALL BE COMPACTED 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 TO PREVENT IMMEDIATE EROSION AND EASE IN DRIVING ACCESSIBILITY.

1
C-4
TYPICAL COMPOUND SECTION DETAIL
SCALE: N.T.S.



- NOTES:**
- SAND AND SUBGRADE SHALL BE COMPACTED 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR (ASTM D-1557).
 - PRIOR TO LAYING THE GEOWEB THE ACCESS ROADWAY SHOULD BE CLEARED OF ALL ORGANIC MATTER, STERILIZED WITH WEED KILLER, AND THEN TREATED WITH HERBICIDE.
 - AFTER PROJECT COMPLETION ALL DISTURBED AREAS MUST BE SEEDED WITH LOW MAINTENANCE GRASS AND COVERED WITH HAY.
 - A MINIMUM TURNING RADIUS OF THE ACCESS ROAD SHALL BE 55 DEGREES FOR THE SHELTER DELIVERY.
 - THE MAXIMUM GRADE OF THE ACCESS ROAD SHALL NOT EXCEED 10%.
 - CONTRACTOR, AT MINIMUM, MUST REMOVE OR TRIM ALL TREES THAT ARE WITHIN 3' OF THE ACCESS ROAD ON BOTH SIDES.
 - GEOWEB SYSTEM TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
 - PROPOSED ACCESS ROAD SHALL BE RATED TO SUPPORT THE LOADING OF AN 32 TON STANDARD FIRE TRUCK FOR INFREQUENT USE.

3
C-3
TYPICAL ACCESS ROAD SECTION DETAIL
SCALE: N.T.S.



- NOTES:**
- ALL FENCING MATERIAL MUST BE GALVANIZED.
 - ALL POSTS MUST HAVE STEEL CAPS.
 - ALL POSTS AND BRACING MUST BE SCH. 40
 - INSTALL FENCING PER ASTM F-567
 - INSTALL GATES PER ASTM F-900
 - ALL CONCRETE FOUNDATIONS TO HAVE A MINIMUM OF 4000 PSI.
 - REFER TO FENCE SPECIFICATIONS FOR FURTHER INFORMATION.
 - LOCATE FENCE AS SHOWN ON SITE PLAN.
 - CONTRACTOR TO PROVIDE AND INSTALL "STYME LOCK" ON COMPOUND GATE, WORK WITH CLIENT ON GATE COMBO.

3
C-4
FENCE DETAIL
SCALE: N.T.S.



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HIGHWAY 29 NORTH
CANTONMENT, FL 32533

SHEET DESCRIPTION
ROAD, FENCE, & COMPOUND SECTION DETAILS

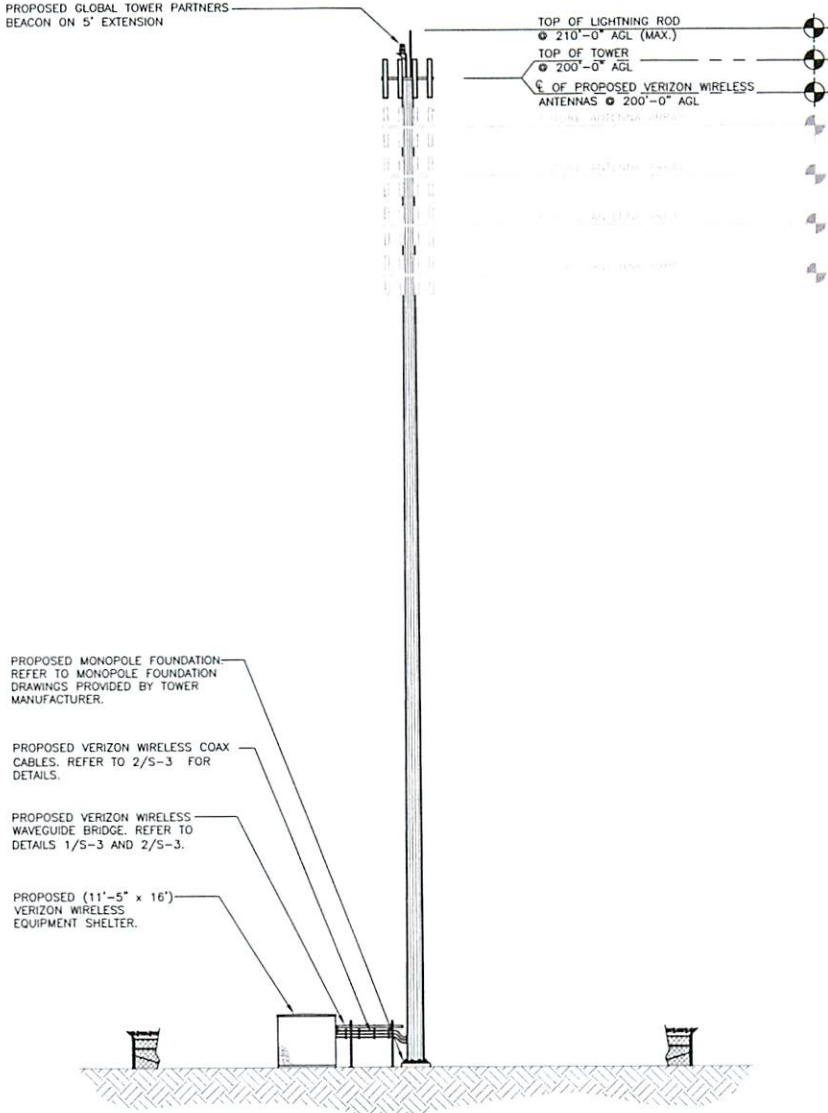
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C-3

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NOTES:

1. ALL COAX TO BE ROUTED INSIDE OF MONOPOLE
2. NEW LIGHTNING ROD INSTALLED A MIN. OF 3' ABOVE HIGHEST APPURTENANCE.
3. IF THE OVERALL HEIGHT OF THE STRUCTURE, INCLUDING APPURTENANCES, EXCEEDS THE HEIGHT SHOWN THEN CONTACT GLOBAL TOWER PARTNERS RS IMMEDIATELY.
4. ANTENNA LOADING AND LOCATION BASED ON TOWER MANUFACTURER DRAWINGS AND DESIGN.
5. CONTRACTOR SHALL INSTALL FOUNDATION AND TOWER ACCORDING TO THE TOWER MANUFACTURERS SPECIFICATIONS.
6. CONTRACTOR SHALL PROVIDE ALL ANTENNA MATERIALS AND ATTACHMENT HARDWARE.
7. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
8. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
9. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
10. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
11. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
12. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD.
13. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
14. CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
15. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
16. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT 850-595-3472. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
17. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.
18. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY.

THE CONTRACTOR MUST FIELD VERIFY ALL MEASUREMENTS AND FIELD CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.



1 TOWER ELEVATION
SCALE: N.T.S.

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SUITE 200, TAMPA, FL 33634
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750 PARK OF COMMERCE BLVD.
SUITE 300
BOCA RATON, FL 33487
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**JACK BRANCH
FL-5058
HIGHWAY 29 NORTH
CANTONMENT, FL 32533**

SHEET DESCRIPTION

**TOWER ELEVATION
& UTILITY RACK**

SHEET NO.

S-1

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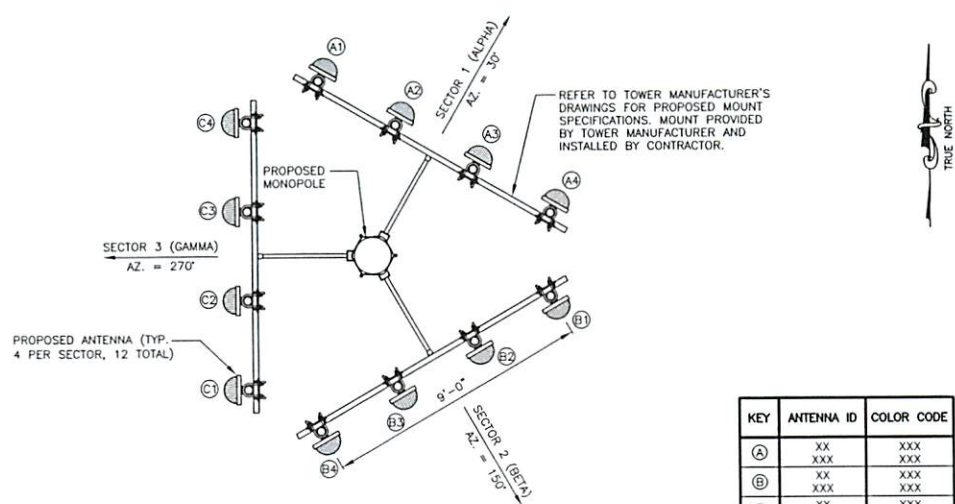
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DRAWN BY: CS	CHECKED BY: BO
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JACK BRANCH
FL-5058
HIGHWAY 29 NORTH
CANTONMENT, FL 32533

SHEET DESCRIPTION
ANTENNA DETAIL

SHEET NO.
S-2



REFER TO TOWER MANUFACTURER'S DRAWINGS FOR PROPOSED MOUNT SPECIFICATIONS. MOUNT PROVIDED BY TOWER MANUFACTURER AND INSTALLED BY CONTRACTOR.

KEY	ANTENNA ID	COLOR CODE
A	XX XXX	XXX XXX
B	XX XXX	XXX XXX
C	XX XXX	XXX XXX
D	XX XXX	XXX XXX
E	XX XXX	XXX XXX
F	XX XXX	XXX XXX

- NOTES:
- REFER TO DETAIL 2/S-2 FOR ANTENNA SCHEDULE.
 - COLLAPSE ANTENNA MOUNTS AS REQUIRED TO ACHIEVE THE AZIMUTHS SPECIFIED AND LIMIT RF SHADOWING.

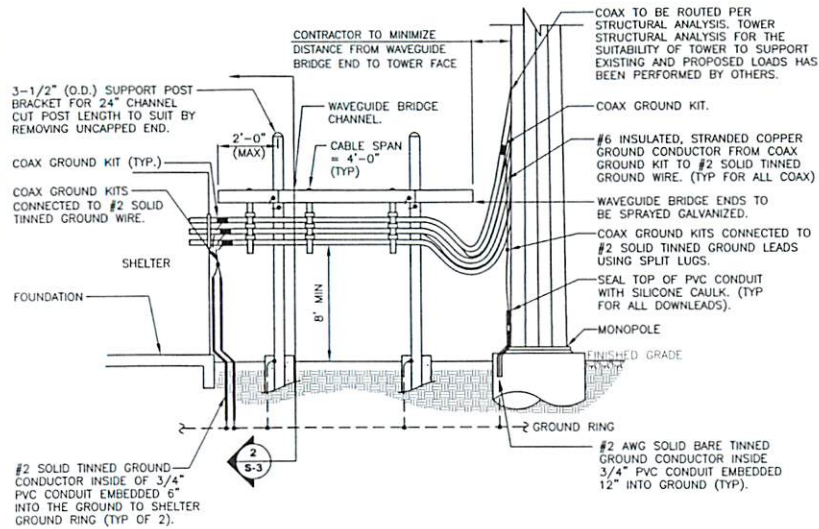
1
S-2 **ANTENNA CONFIGURATION DETAIL**
SCALE: N.T.S.

ANTENNA AND COAX SCHEDULE													
SECTOR	AZIMUTH	MOUNT HEIGHT	# OF PROPOSED ANTENNAS	# OF REPLACEMENT ANTENNAS	TMA MODEL	ANTENNA MODEL	APPROXIMATE ANTENNA SPECS	MECHANICAL DOWNTILT	ELECTRICAL DOWNTILT	COAX	# OF COAX	COAX LENGTH PER LINE	COLOR CODE
ALPHA	30°	200'-0"	4	0	XXX-XXX-XXX-XX	XXX-XXX-XXX-XX	H-XX* W-X.X* D-X.XX*	X	X	X-X/X*	X	XXX'-XX"	XXX
BETA	150°	200'-0"	4	0	XXX-XXX-XXX-XX	XXX-XXX-XXX-XX	H-XX* W-X.X* D-X.XX*	X	X	X-X/X*	X	XXX'-XX"	XXXX
GAMMA	270°	200'-0"	4	0	XXX-XXX-XXX-XX	XXX-XXX-XXX-XX	H-XX* W-X.X* D-X.XX*	X	X	X-X/X*	X	XXX'-XX"	XXXXX
TOTAL											X	XXX'-XX"	

* ANTENNA & COAXIAL INFORMATION TAKEN FROM THE XXXXXX CONFIGURATION DATA SHEET DATED: XX/XX/2008.

2
S-2 **ANTENNA AND COAX SCHEDULE**
SCALE: N.T.S.

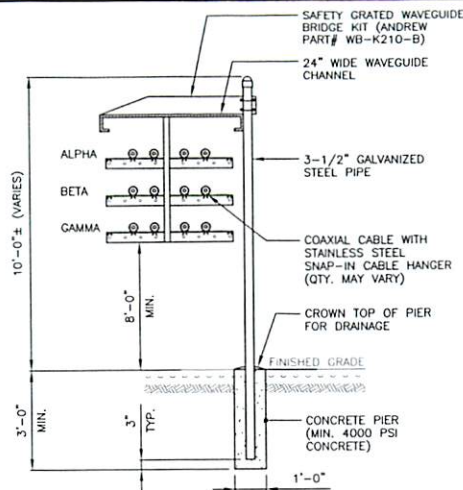
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NOTES:

1. MAXIMUM ALLOWABLE SPAN BETWEEN SUPPORTS ON A CONTINUOUS SINGLE SECTION OF BRIDGE CHANNEL SHALL BE 10'
2. WHEN SPlicing BRIDGE CHANNEL SECTIONS, THE SPlice SHOULD BE PROVIDED AT THE SUPPORT, IF POSSIBLE, OR AT A MAXIMUM OF 2 FEET FROM THE SUPPORT.
3. SUPPORT SHOULD BE PROVIDED AS CLOSE AS POSSIBLE TO THE ENDS OF WAVEGUIDE BRIDGES, WITH A MAXIMUM CANTILEVER DISTANCE OF 2 FEET FROM THE SUPPORT TO THE FREE END OF THE WAVEGUIDE BRIDGE.
4. CUT BRIDGE CHANNEL SECTIONS SHALL HAVE RAW EDGES PAINTED WITH 3 COATS OF ZINC RICH PAINT.
5. DEVIATIONS FROM STANDARDS FOR COMPONENT INSTALLATIONS ARE PERMITTED WITH THE RESPECTIVE MANUFACTURER'S APPROVAL.
6. DEVIATIONS FROM WAVEGUIDE BRIDGE FOUNDATIONS SHOWN ON SITE SPECIFIC DRAWINGS OR STANDARD DETAILS REQUIRE ENGINEERING APPROVAL.
7. ALL COAXIAL CABLE CONNECTIONS AND TRANSMITTER EQUIPMENT SHALL BE AS SPECIFIED BY THE OWNER AND IS NOT INCLUDED IN THESE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL FURNISH ALL CONNECTION HARDWARE REQUIRED TO SECURE THE CABLES. CONNECTION HARDWARE SHALL BE STAINLESS STEEL.

1 WAVEGUIDE BRIDGE ELEVATION
SCALE: N.T.S.



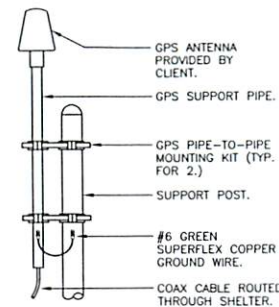
NOTES:

1. ALL SUPPORT POSTS MUST BE GROUND.
2. COAX CABLE QTY. AND LOCATION MAY VARY.
3. CONTRACTOR TO ENSURE THAT COAX CABLE MATCHES UP WITH WAVEGUIDE PORT.
4. DEVIATIONS FROM WAVEGUIDE BRIDGE FOUNDATIONS SHOWN ON SITE SPECIFIC DRAWINGS OR STANDARD DETAILS REQUIRE ENGINEERING APPROVAL.

2 WAVEGUIDE BRIDGE SECTION DETAIL
SCALE: N.T.S.

NOTES:

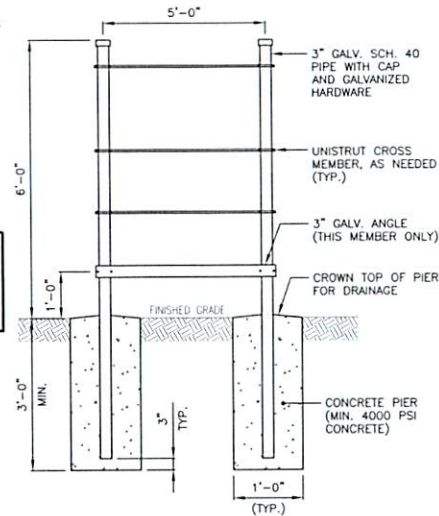
1. ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.
2. GROUNDING NOT SHOWN FOR CLARITY.



NOTES:

1. CONTRACTOR TO SUPPLY ALL MATERIAL UNLESS OTHERWISE NOTED.
2. GPS ANTENNA MUST BE IN A LOCATION TO BE ABLE TO RECEIVE CLEAR SIGNALS FROM A MINIMUM OF 4 SATELLITES.
3. LOCATION OF ANTENNA MUST BE IN CLEAR VIEW OF THE SKY, WITHOUT ANY OBSTRUCTION OR BLOCKAGE EXCEEDING 25% OF THE SURFACE AREA OF A HEMISPHERE AROUND THE GPS ANTENNA.

3 GPS UNIT MOUNT DETAIL
SCALE: N.T.S.



4 UTILITY RACK DETAIL
SCALE: N.T.S.

ATWELL
www.atwell-group.com

4610 EISENHOWER BOULEVARD
SUITE 200, TAMPA, FL 33634
PH: 813 888 9500
FAX: 813 884 4288
OFFICES IN NORTH AMERICA AND ASIA

GTP
GEOGRAPHIC TIME PARTNER

750 PARK OF COMMERCE BLVD.
SUITE 300
BOCA RATON, FL 33487
PH (561) 886-5848
FAX (561) 982-7048

verizonwireless

3838 N. CAUSEWAY BLVD., SUITE
3250, METAIRIE, LA 7002



REVISIONS

NO.	DATE	DESCRIPTION
5		
4		
3		
2		
1	09/16/11	REVISED PER COMMENTS
0	06/18/11	ISSUED FOR REVIEW

DRAWN BY: CS CHECKED BY: BO
SCALE: AS NOTED JOB NO: 11001682

JACK BRANCH
FL-5058
HIGHWAY 29 NORTH
CANTONMENT, FL 32533

SHEET DESCRIPTION

**COAX AND
EQUIPMENT PAD
DETAIL**

SHEET NO.

S-3

K:\Telcel\Project\20111001682_GTP-M4_FL-5058_Jack_Branch_Telcel\Drawings\Construction Drawings\Jack Branch_CD.dwg 6/20/2011 4:29:15 PM bozovsky

ATWELL
www.atwell-group.com



4610 EISENHOWER BOULEVARD
SUITE 200, TAMPA, FL 33634
PH: 8 1 3 8 8 8 9 5 0 0
FAX: 8 1 3 8 8 4 4 2 8 8
OFFICES IN NORTH AMERICA AND ASIA



750 PARK OF COMMERCE BLVD.
SUITE 300
BOCA RATON, FL 33487
PH (561) 886-5848
FAX (561) 982-7048



3838 N. CAUSEWAY BLVD, SUITE
3250, METairie, LA 7002



REVISIONS

NO.	DATE	DESCRIPTION
5		
4		
3		
2		
1	09/16/11	REVISED PER COMMENTS
0	08/18/11	ISSUED FOR REVIEW
NO.	DATE	DESCRIPTION
DRAWN BY: CS		CHECKED BY: BO
SCALE: AS NOTED		JOB NO: 11001682

**JACK BRANCH
FL-5058
HIGHWAY 29 NORTH
CANTONMENT, FL 32533**

SHEET DESCRIPTION

**SHELTER LAYOUT
PLAN**

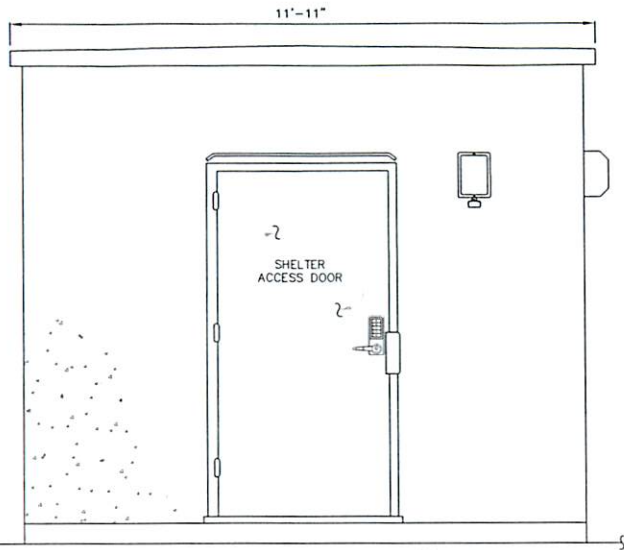
SHEET NO.

S-4

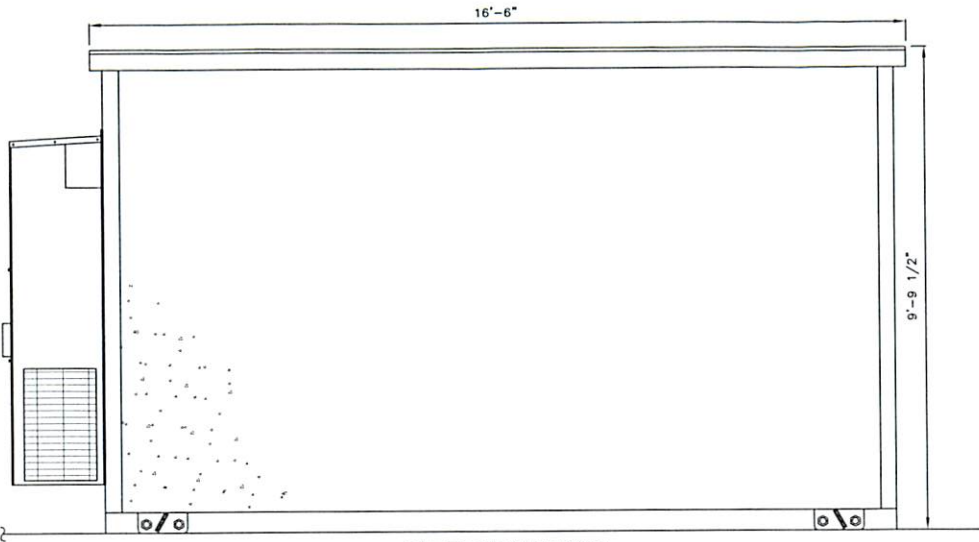


1 **TYPICAL SHELTER LAYOUT PLAN**
S-4 SCALE: N.T.S.

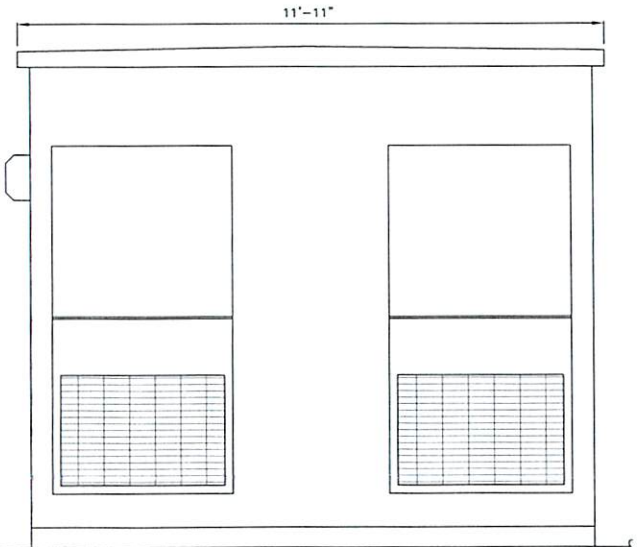
K:\Telecom Projects\201111001662 - GTP-MIA - FL-5058 - Jack Branch\Telecom Drawings\Construction Drawings\Jack Branch_CD.dwg, 9/20/2011 4:29:48 PM, brnensky



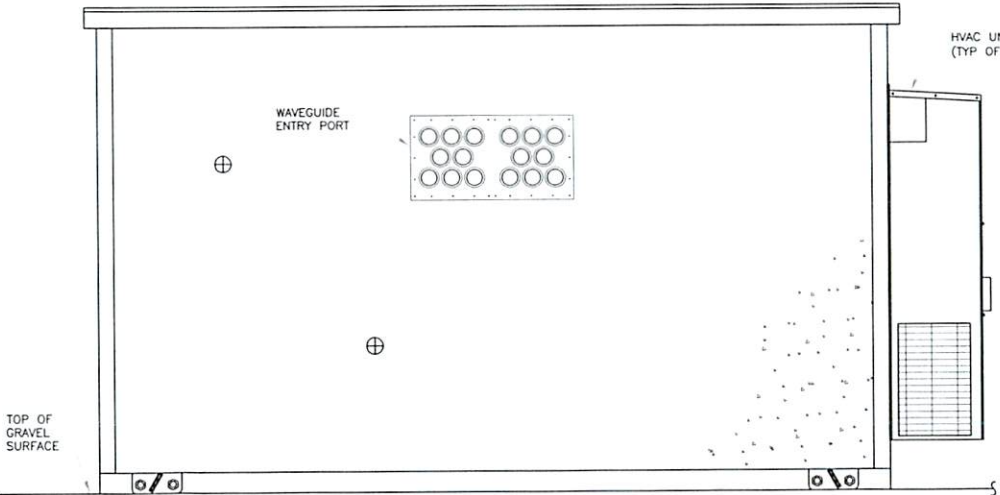
1 FRONT ELEVATION
SCALE: N.T.S.



2 SIDE ELEVATION
SCALE: N.T.S.



3 REAR ELEVATION
SCALE: N.T.S.



4 SIDE ELEVATION
SCALE: N.T.S.

ATWELL
www.atwell-group.com



4610 EISENHOWER BOULEVARD
SUITE 200, TAMPA, FL 33634
PH: 813 888 9500
FAX: 813 884 4288
OFFICES IN NORTH AMERICA AND ASIA



750 PARK OF COMMERCE BLVD.
SUITE 300
BOCA RATON, FL 33487
PH (561) 886-5848
FAX (561) 982-7048



3838 N. CAUSEWAY BLVD, SUITE
3250, BOCA RATON, FL 33495



REVISIONS		
5		
4		
3		
2		
1	09/16/11 REVISED PER COMMENTS	
0	08/18/11 ISSUED FOR REVIEW	
NO.	DATE	DESCRIPTION
DRAWN BY: CS		CHECKED BY: BO
SCALE: AS NOTED		JOB NO: 11001662

JACK BRANCH
FL-5058
HIGHWAY 29 NORTH
CANTONMENT, FL 32533

SHEET DESCRIPTION

SHELTER
ELEVATIONS

SHEET NO.

S-5

AI-1532

Item #: 6.

Board of Adjustment

Meeting

10/19/2011

Date:

Attachments

CU-2011-11

AI-1534

Item #: 6.

Board of Adjustment

Meeting

Date: 10/19/2011

Attachments

CU-2011-12

CU-2011-11



DEVELOPMENT SERVICES STAFF FINDINGS-OF-FACT

**Conditional Use Case: CU-2011-11
October 19, 2011**

I SUBMISSION DATA:

APPLICANT: T. A. Borowski, Jr, Agent for East Hill Christian School, Inc.

PROJECT ADDRESS: 9100 Eight Mile Creek Road

PROPERTY REFERENCE NO.: 11-1S-31-1301-001-001

ZONING DISTRICT: R-1, Single-Family District

FUTURE LAND USE: MU-U, Mixed Use-Urban

II REQUESTED CONDITIONAL USE:

The Applicant is seeking Conditional Use approval for the construction of a recreational facility in an R-1 Zoning district.

Conditional Use (CU-2006-28), was granted in 2006 for construction of an educational facility with athletic fields, but expired because construction was never commenced.

III RELEVANT AUTHORITY:

Land Development Code of Escambia County, Florida (Ordinance 96-3 as amended), Section 6.05.05.C.12

C. *Conditional uses.*

12. Public parks and recreation facilities.

IV CRITERIA

Land Development Code of Escambia County, Florida (Ordinance 96-3 as amended), Section 2.05.03.

CU-2011-11

CRITERION (1)

On-site circulation. Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, on-site parking and loading, and access in case of fire or catastrophe.

FINDINGS-OF-FACT

Ingress and egress to the site is proposed through Eight Mile Creek Road with a secondary possible access from Surrey Drive as a rear access solely to be used for service and emergency access. Access will be reviewed during the site plan review process.

CRITERION (2)

Nuisance. Adverse impact such as noise, glare, smoke, odor or other harmful effects (electrical interference, hazardous materials, etc.) of the conditional use on adjoining properties and properties generally in the District.

FINDINGS-OF-FACT

Nuisance impacts from the proposed use as a recreational facility should be minimal and confined to the subject property.

CRITERION (3)

Solid Waste. Refuse and service areas with particular reference to concurrency requirements and items (1) and (2) above.

FINDINGS-OF-FACT

Solid waste service will be provided at the site and will be further addressed during the site plan review process.

CRITERION (4)

Utilities. Utilities with reference to concurrency requirements, location, availability and compatibility with surrounding land uses.

FINDINGS-OF-FACT

Water and electrical services will be provided for the proposed facility.

CRITERION (5)

Buffers. The buffer may be a landscaped natural barrier, a natural barrier or a landscaped or natural barrier supplemented with fencing or other man-made barriers, so long as the function of the buffer and the intent of Policy FLU 1.1.9

of the Comprehensive Plan and the provisions of Section 7.01.06 of the Land Development Code are fulfilled.

FINDINGS-OF-FACT

The applicant proposes a landscape buffer along the road frontage, as well as along the remaining three sides of the property. A fence is anticipated that will only be designed to prevent vehicular traffic.

When applicable, further review during the site plan review process will be needed to ensure the buffering requirements and other performance standards have been met, should this Conditional Use be granted.

CRITERION (6)

***Signs.* Signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the District.**

FINDINGS-OF-FACT

All proposed signs will meet the standards delineated in Article 8 of the Escambia County Land Development Code. This requirement will be further reviewed during the site plan review process.

CRITERION (7)

***Environment impact.* Impacts to protected trees, wetlands, water bodies, stormwater management or other natural features of the subject parcel.**

FINDINGS-OF-FACT

According to the National Wetlands Inventory there appears to be no wetlands on-site. Stormwater management and all other environment impacts will be addressed during the site plan review process.

CRITERION (8)

***Neighborhood impact.* General compatibility with adjacent properties and other property in the immediate area.**

FINDINGS-OF-FACT

The proposed recreational facility will be compatible with the current land use and surrounding areas.

CRITERION (9)

Other requirements of Code. The proposed Conditional Use is consistent with all other relevant provisions of this Code.

FINDINGS-OF-FACT

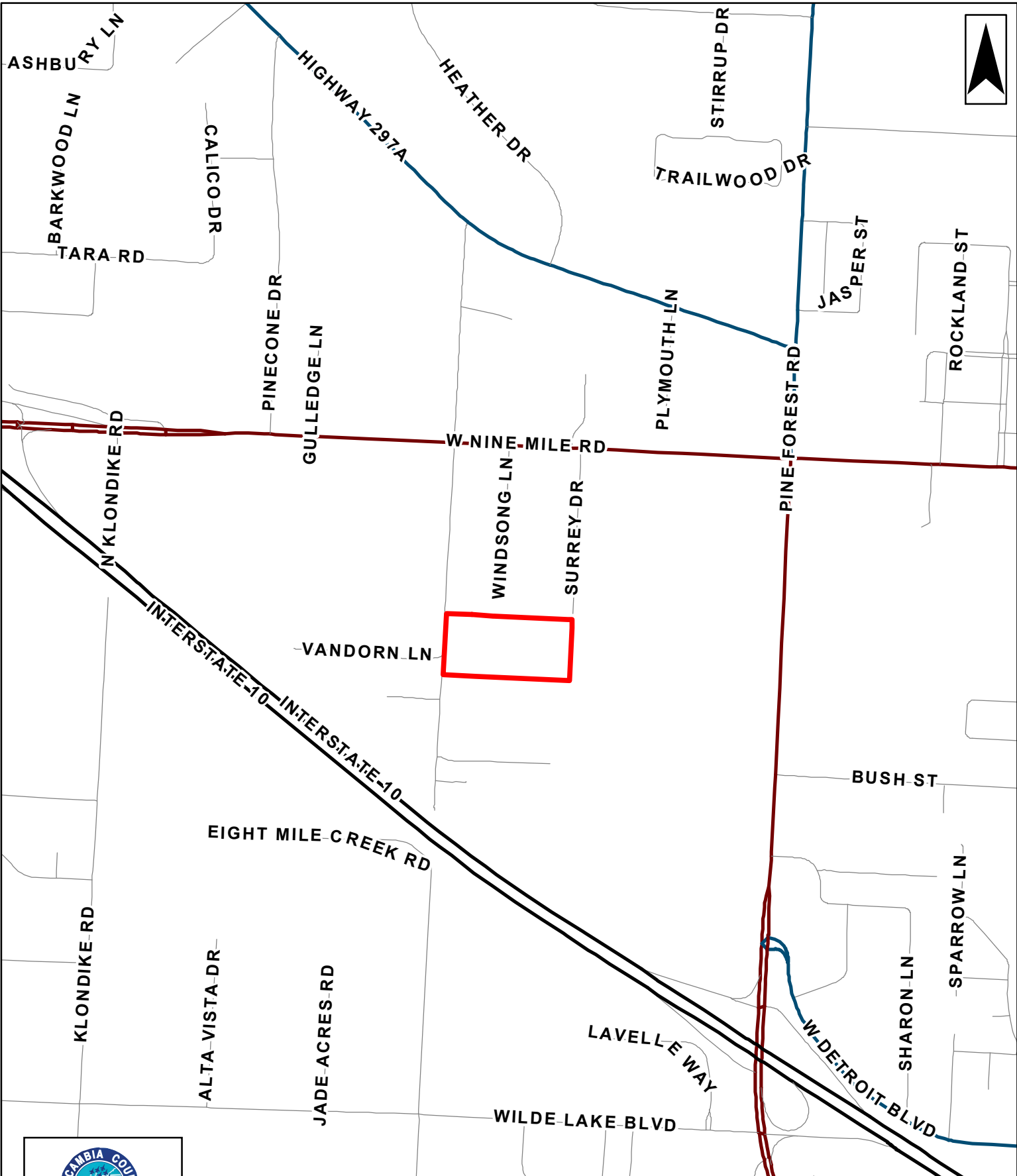

The proposed Conditional Use is consistent with all other relevant provisions of this Code.

Staff finds that the applicant has appropriately addressed the above requirements. The additional standards in this criterion will be further reviewed during the site plan review process.

V RECOMMENDATION

Staff recommends that the Board approve the proposed Conditional Use with the following condition:

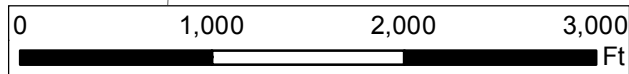
- Site plan approval by the Development Review Committee








This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

CU-2011-11 LOCATION MAP



-  PRINCIPAL ARTERIAL
-  MINOR ARTERIAL
-  COLLECTOR
-  LOCAL ROAD



N EIGHT-MILE CREEK RD

WINDSONG LN

SURREY DR

VANDORN LN



SOLO DOS FAMILIAF



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

CU-2011-11 AERIAL MAP



- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD
- PARCELS

DOETHY TRI



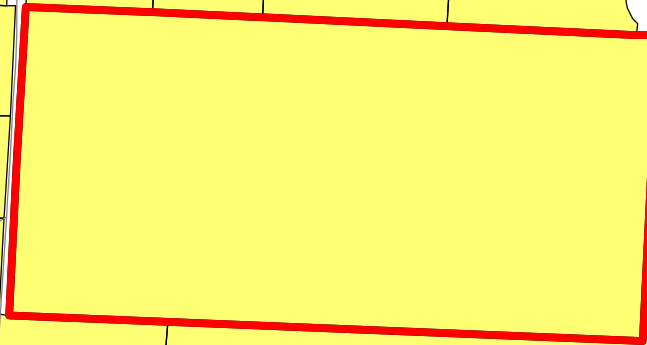
MU-U

MU-U

N EIGHT MILE CREEK RD

WINDSONG LN

SURREY DR



MU-U

MU-U

SOLO DOS FAMILIAF

MU-U

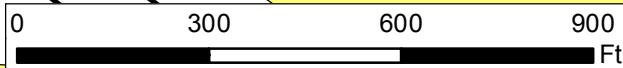
INTERSTATE 10



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Andrew Holmer
Planning and Zoning Dept.

CU-2011-11 FUTURE LAND USE



- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD
- PARCELS



C-2

AG

C-2

N EIGHT MILE CREEK RD

WINDSONG LN

SURREY DR

AG

R-1

ID-1

R-R

C-2

R-1

SOLO DOS FAMILIAF

R-1

INTERSTATE 10

R-5

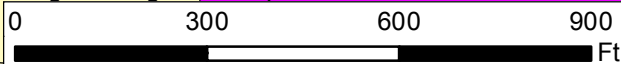
ID-1



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

CU-2011-11 500' RADIUS ZONING



- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD
- PARCELS

BOROWSKI & DUNCAN, P.A.

25 WEST CEDAR STREET, SUITE 525
PENSACOLA, FLORIDA 32502

T. A. BOROWSKI, JR.
ted@borowski-duncan.com

POST OFFICE BOX 12651
PENSACOLA, FLORIDA 32591-2651
PH (850) 429-2027 FAX (850) 429-7465

J. SCOTT DUNCAN
scott@borowski-duncan.com

September 8, 2011

Escambia County Board of Adjustment
3363 West Park Place
Pensacola, FL 32505

RE: East Hill Christian School, Inc.
9100 Eight Mile Creek Road
Partial ID 111S31-1301-001-001
Conditional Use Permit-Letter of Request

Dear Board of Adjustment:

This Letter of Request is submitted in support of East Hill Christian School, Inc.'s application for the issuance of a Conditional Use permit for the above referenced real property. The Conditional Use permit is required prior to allowing the construction of the East Brent Recreational Facility on the property that is located in an R-1 Zone. A Conditional Use was granted in 2006 for the purposes of constructing an educational facility with athletic fields (CU-2006-28), but said Conditional Use Permit expired as construction was never commenced. East Hill Christian School has contracted to sell the property to East Brent Baptist Church for the purposes of constructing the recreational facility, and the contract is conditioned upon the grant of a Conditional Use Permit. The criteria necessary to grant a Conditional Use Permit, as set forth in the Escambia County Land Development Code, are addressed below.

On-site Circulation: The proposed development is a recreational complex. Ingress and egress to the property is available via Eight Mile Creek Road that runs along the front (westerly) boundary of the property. The traffic flow and parking will be located on the west end of the property adjacent to Eight Mile Creek Road. Rear access is available from Surrey Drive, but is anticipated to be used solely for service and emergency access. Access to Eight Mile Creek Road shall be via State Highway 90 (Nine Mile Road).

Nuisance: The proposed facility is not anticipated to have any adverse impact on the adjoining properties generally in the district. Noise from sports events will occur largely during daylight hours and, in any event, will end at a reasonable hour of the evening. Lighting for the ball fields will be strategically located to minimize encroachment on nearby properties, and the Church will work with adjoining land owners and the county representatives during site plan review. The adjoining property to the east is a borrow pit with no residential structures; the

southern line is largely unimproved land, with the exception of a home located on Eight Mile Creek; and likewise, on the northern boundary there are only a few residences. Once the formal site plan process has commenced, a survey will identify precisely where these properties are located and dictate strategic placement of lightening to minimize any glare. Otherwise no smoke, odor, or other harmful effects (electrical interference, hazardous material, etc.) is anticipated.

Solid Waste: Solid Waste shall be handled by an onsite dumpster; refuse generated on site is anticipated to be limited to paper trash and items consistent with the operation of a concession stand. Removal will be by contracted trash removal services from receptacles managed by the Church.

Utilities: The utilities used shall be water, sewer, and electricity. All necessary utilities currently exist on site. Emerald Coast Utilities a (ECUA) maintains a three inch water line and a twelve inch sewage forced main on a right-of-way of North Eight Mile Creek Road.

Buffers: A landscape buffer shall be provided on the road frontage, as well as along the remaining three sides of the property. Although the site plan indicates a fence, it is anticipated that this will only be designed to prevent vehicular traffic.

Signs: Signs identifying the East Brent Recreational Facility shall be provided along the road frontage on Eight Mile Creek Road; a directional sign will be sought to be located at the Eight Mile Creek and State Highway 90 intersection.

Environmental Impact: The proposed development is within the twenty year time-travel contour of the new ECUA water well. The wellhead protection reports should be provided to the Neighborhood Environmental Services Department as part of the Escambia County Development Review Committee application prior to the start of construction. Any protected trees on site will be protected from damage during construction with approved barriers, and to the extent removal of these trees is required, same will be done in accordance with the Escambia County Land Development Code. The Florida Department of Environmental Protection required storm water runoff shall be contained in a storm water retention pond to be constructed on the Southwestern portion of the property, which is consistent with the natural topography of the land in its current state.

Neighborhood Impact: The property will be compatible with adjoining properties and the properties in the surrounding area. The neighborhood is mixed residential and commercial, including a large borrow pit owned by Panhandle Paving and Grating located to the east of the property. Having a recreational facility in the community will add value to the surrounding properties and offers an added benefit to families with children in the local community, as well as the developments which have arisen in recent areas in the immediate area.

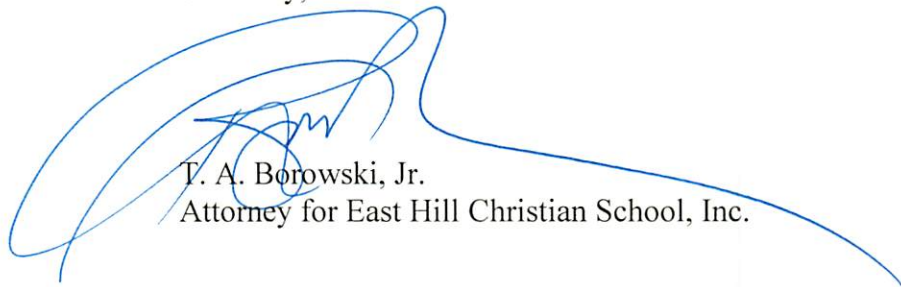
The site is located within the more highly accessible portions of the residential district. As a result of its proximity to State Highway 90 and Interstate 10, traffic along residential streets

other than the small portion of Eight Mile Creek Road leading to the site, is discouraged. The site is twelve hundred feet from the intersection of Eight Mile Creek Road and State Highway 90 and is only three quarters of a mile from the I-10 Interchange Exit 5. Residential traffic is also discouraged in the area due to the fact that Eight Mile Creek Road is not a through street south of State Highway 90.

Other Requirements of the Code: The proposed development will need to undergo a complete review by the Escambia County Development Review Committee to meet all requirements of Section 7 of the Escambia County Land Development Code prior to issuance of permits. The proposed building designs will undergo a complete review by the Escambia County Building Department and shall meet all requirements of the Florida Building Code for the proposed buildings' intended uses prior to issuance of a building permit. Florida Department of Environmental Protection and/or Northwest Florida Water Management District shall review, approve and permit the storm water management plan for the proposed project.

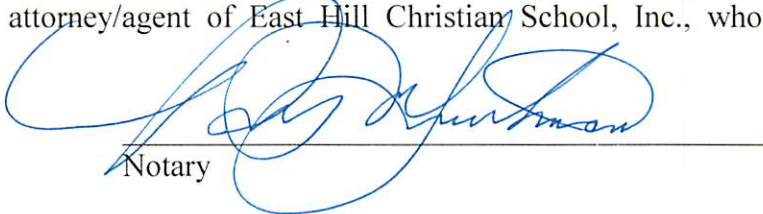
If any additional information is required, please do not hesitate to contact the undersigned.

Sincerely,



T. A. Borowski, Jr.
Attorney for East Hill Christian School, Inc.

This foregoing instrument was acknowledged before me this 8th day of September, 2011 by T. A. Borowski, Jr., as attorney/agent of East Hill Christian School, Inc., who is personally known to me.



Notary

APPLICATION

Please check application type: [X] Conditional Use Request for: Recreational Facility
[] Administrative Appeal
[] Variance Request for:
[] Development Order Extension
[] Rezoning Request from: to:

Name & address of current owner(s) as shown on public records of Escambia County, FL

Owner(s) Name: East Hill Christian School, Inc. Phone: 850-429-2027

Address: c/o T. A. Borowski, Jr., 25 W. Cedar St., Ste. 525, Pensacola, FL 32502 Email: ted@borowski-duncan.com

[] Check here if the property owner(s) is authorizing an agent as the applicant and complete the Affidavit of Owner and Limited Power of Attorney form attached herein.

Property Address: 9100 Eight Mile Creek Road, Pensacola, FL 32516

Property Reference Number(s)/Legal Description: Sec. 11, Township 1-5, R 31W, 1301-001-001

By my signature, I hereby certify that:

- 1) I am duly qualified as owner(s) or authorized agent to make such application, this application is of my own choosing, and staff has explained all procedures relating to this request; and
2) All information given is accurate to the best of my knowledge and belief, and I understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application; and
3) I understand that there are no guarantees as to the outcome of this request, and that the application fee is non-refundable; and
4) I authorize County staff to enter upon the property referenced herein at any reasonable time for purposes of site inspection and authorize placement of a public notice sign(s) on the property referenced herein at a location(s) to be determined by County staff; and
5) I am aware that Public Hearing notices (legal ad and/or postcards) for the request shall be provided by the Development Services Bureau.

Handwritten signature of T. A. Borowski, Jr.

T. A. Borowski, Jr.
Printed Name Owner/Agent

9/7/11
Date

Signature of Owner

East Hill Christian School, Inc.
Printed Name of Owner

Date

STATE OF Florida COUNTY OF Escambia
The foregoing instrument was acknowledged before me this 7th day of September 20 11, by T.A. Borowski, Jr.

Personally Known [X] OR Produced Identification []. Type of Identification Produced:

Handwritten signature of Diane M. Sweetman
Signature of Notary
(notary seal must be affixed)

Diane M. Sweetman
Printed Name of Notary



FOR OFFICE USE ONLY
CASE NUMBER: CU-2011-11
Meeting Date(s): 10-19-11 Accepted/Verified by: KSS/ADH Date: 9/8/11
Fees Paid: \$ 1050.00 Receipt #: Permit #: PBA 110900020

AFFIDAVIT OF OWNER AND LIMITED POWER OF ATTORNEY

As owner of the property located at 9100 Eight Mile Creek Road, Pensacola,
Florida, property reference number(s) 11 15 31-1301-001-001

I hereby designate T.A. Borowski, Jr. for the sole purpose
of completing this application and making a presentation to the:

- Planning Board and the Board of County Commissioners to request a rezoning on the above referenced property.
- Board of Adjustment to request a(n) _____ on the above referenced property.

This Limited Power of Attorney is granted on this 7TH day of SEPTEMBER the year of, 2011, and is effective until the Board of County Commissioners or the Board of Adjustment has rendered a decision on this request and any appeal period has expired. The owner reserves the right to rescind this Limited Power of Attorney at any time with a written, notarized notice to the Development Services Bureau.

Agent Name: T.A. Borowski, Jr. Email: ted@borowski-duncan.com
Address: 25 West Cedar St., Ste. 525, Pensacola, FL 32502 Phone: 850-982-4950

[Signature] BOARD PRESIDENT
Signature of Property Owner

East Hill Christian School
Printed Name of Property Owner

9/7/2011
Date

Signature of Property Owner

Printed Name of Property Owner

Date

STATE OF FLORIDA COUNTY OF Escambia
The foregoing instrument was acknowledged before me this 7th day of September 20 11,
by Michael W. Halsett.

Personally Known OR Produced Identification . Type of Identification Produced: _____

[Signature]
Signature of Notary

Traci Leigh Slay
Printed Name of Notary

(Notary Seal)

Traci Leigh Slay
Notary Public-State of Florida
My Commission Expires Feb 16, 2013
My Comm. # DD 851589

Prepared by and return to:
Janice S. Sugar

David A. Sapp, PA
4457 Bayou Boulevard
Pensacola, FL 32503
850-475-0500
File Number: 05-02-40-das

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 15th day of April, 2005, between Clara Belle Riley, a single woman, individually, and Clara Belle Riley, as Trustee of the Clara Belle Riley Revocable Trust Agreement dated July 29, 1997, whose post office address is 154 County Road, Leesburg, GA 31763, grantor, and East Hill Christian School, Inc., a Florida corporation whose post office address is 1301 E. Gadsden Street, Pensacola, FL 32501, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Escambia County, Florida to-wit:

See Exhibit "A" attached hereto and made a part hereof as if fully set forth herein.

Parcel Identification Number: 111S31-1301-000/001-001

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

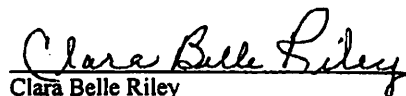
And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2004.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

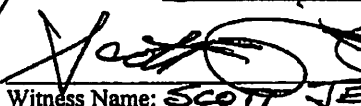
Signed, sealed and delivered in our presence:

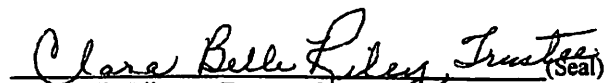

Witness Name: JANICE S. SUGAR


Witness Name: SCOTT JENNINGS

 (Seal)
Clara Belle Riley


Witness Name: JANICE S. SUGAR

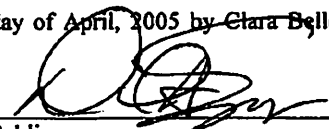

Witness Name: SCOTT JENNINGS

 (Seal)
Clara Belle Riley, as Trustee of the Clara Belle Riley
Revocable Trust Agreement dated July 29, 1997

State of Florida
County of Escambia

The foregoing instrument was acknowledged before me this 15th day of April, 2005 by Clara Belle Riley, who is personally known or has produced a driver's license as identification.

[Notary Seal]



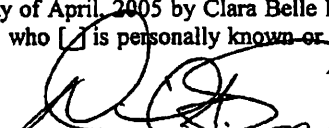
Notary Public

Printed Name: DAVID A. SAPP
Notary Public, State of Florida
My Commission Expires: My comm. exp. May 22, 2007
Comm. No. DD 214743

State of Florida
County of Escambia

The foregoing instrument was acknowledged before me this 15th day of April, 2005 by Clara Belle Riley, as Trustee of the Clara Belle Riley Revocable Trust Agreement dated July 29, 1997, who is personally known or has produced a driver's license as identification.

[Notary Seal]



Notary Public

Printed Name:
My Commission Expires: DAVID A. SAPP
Notary Public, State of Florida
My comm. exp. May 22, 2007
Comm. No. DD 214743

cl

EXHIBIT "A"

IN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 1 SOUTH, RANGE 31 WEST, BEGINNING AT A STAKE MARKING THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE RUN NORTH ALONG THE MIDLINE OF SAID SECTION A DISTANCE OF 1320 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE RUN EAST AT AN ANGLE OF 95°25' A DISTANCE OF 370 FEET; THENCE RUN SOUTH AT AN ANGLE OF 90° A DISTANCE OF 200 FEET; THENCE RUN WEST AT AN ANGLE OF 90° A DISTANCE OF 370 FEET; THENCE RUN NORTH ALONG THE MIDLINE OF SECTION 11, TOWNSHIP 1 SOUTH, RANGE 31 WEST A DISTANCE OF 200 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION. (THIS IS A CORRECTED DESCRIPTION OF PROPERTY CONVEYED BY A DEED DATED 30 DECEMBER 1957, RECORDED IN DEED BOOK 480 AT PAGE 488 OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.) COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 1 SOUTH, RANGE 31 WEST; THENCE RUN SOUTH ALONG THE MIDLINE OF SECTION 11, FOR A DISTANCE OF 200 FEET FOR A POINT OF BEGINNING; THENCE RUN EAST AT AN ANGLE OF 95°25', A DISTANCE OF 370 FEET TO A POINT; THENCE RUN NORTH AT AN ANGLE OF 90°, A DISTANCE OF 200 FEET TO A POINT; THENCE RUN EAST AT AN ANGLE OF 90°, A DISTANCE OF 245 FEET TO A POINT; THENCE RUN SOUTH AT AN ANGLE OF 90° A DISTANCE OF 475 FEET TO A POINT; THENCE RUN WEST AT AN ANGLE OF 90° A DISTANCE OF 615 FEET, MORE OR LESS, TO A POINT INTERSECTING THE MIDLINE OF SECTION 11; THENCE RUN NORTH ALONG THE MIDLINE OF SECTION 11, A DISTANCE OF 275 FEET, MORE OR LESS, TO THE POINT OF BEGINNING;

COMMENCE AT A CONCRETE MONUMENT AT NORTHEAST CORNER OF SOUTHWEST 1/4 OF NORTHEAST 1/4 OF SECTION 11, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA; THENCE WEST ALONG THE NORTH LINE OF SAID SOUTHWEST 1/4, A DISTANCE OF 360.0 FEET TO POINT OF BEGINNING; THENCE CONTINUE ALONG SAME COURSE FOR A DISTANCE OF 344.0 FEET; THENCE SOUTHERLY WITH A DEFLECTION ANGLE OF 89°29'02" TO THE LEFT FOR A DISTANCE OF 475.0 FEET (SAID LINE BEING 615.0 FEET EAST OF AND PARALLEL TO THE WEST LINE OF SOUTHWEST 1/4 OF NORTHEAST 1/4); THENCE EASTERLY WITH A DEFLECTION ANGLE OF 90°30'58" TO THE LEFT FOR 377.0 FEET; THENCE NORTHERLY WITH A DEFLECTION ANGLE OF 89°29'02" TO THE LEFT FOR A DISTANCE OF 409.0 FEET; THENCE WESTERLY WITH A DEFLECTION ANGLE OF 90°30'58" TO THE LEFT FOR 33.0 FEET; THENCE NORTHERLY WITH A DEFLECTION ANGLE OF 90°30'58" TO THE RIGHT FOR A DISTANCE OF 66.0 FEET TO THE POINT OF BEGINNING.

COMMENCE AT A CONCRETE MONUMENT AT THE NORTHEAST CORNER OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 11, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA; THENCE WEST ALONG THE NORTH LINE OF SAID SOUTHWEST 1/4 A DISTANCE OF 327.0 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAME COURSE FOR A DISTANCE OF 33.0 FEET; THENCE SOUTHERLY ALONG THE LINE OF THE PROPERTY DESCRIBED IN O.R. BOOK 793, PAGE 17, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA FOR A DISTANCE OF 66.0 FEET; THENCE EASTERLY ALONG THE LINE OF THE PROPERTY DESCRIBED IN SAID O. R. BOOK 793, PAGE 17 FOR A DISTANCE OF 33.0 FEET, THENCE NORTHERLY 66.0 FEET TO THE POINT OF BEGINNING. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

DESCRIPTION: (PER CLIENT'S REQUEST - PER FIELD MONUMENTATION):

COMMENCING AT THE NORTHWEST CORNER OF SECTION 11, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA; THENCE GO NORTH 90°00'00" EAST ALONG THE NORTH LINE OF SAID SECTION 11 FOR A DISTANCE OF 2646.69 FEET TO THE NORTHWEST CORNER OF THE NORTHEAST QUARTER OF SAID SECTION 11; THENCE GO SOUTH 00°19'31" WEST ALONG THE WEST LINE OF SAID NORTHEAST QUARTER OF SECTION 11 FOR A DISTANCE OF 1321.02 FEET TO THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 11; THENCE GO NORTH 89°48'26" EAST ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER FOR A DISTANCE OF 20.00 FEET TO THE FIELD MONUMENTED EAST RIGHT-OF-WAY LINE OF EIGHT MILE CREEK ROAD FOR THE POINT OF BEGINNING; THENCE CONTINUE NORTH 89°48'26" EAST ALONG SAID NORTH LINE OF SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 11 FOR A DISTANCE OF 980.67 FEET; THENCE GO SOUTH 00°19'31" WEST FOR A DISTANCE OF 475.94 FEET; THENCE GO SOUTH 89°48'26" WEST FOR A DISTANCE OF 980.67 FEET TO THE AFOREMENTIONED EAST RIGHT-OF-WAY LINE OF EIGHT MILE CREEK ROAD; THENCE GO NORTH 00°19'31" EAST ALONG SAID EAST RIGHT-OF-WAY LINE FOR A DISTANCE OF 475.94 FEET TO THE POINT OF BEGINNING. THE ABOVE DESCRIBED PARCEL OF LAND IS SITUATED IN SECTION 11, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA AND CONTAINS 10.71 ACRES, MORE OR LESS. SUBJECT TO A UTILITY EASEMENT ALONG THE WESTERLY 5.0 FEET OF THE ABOVE DESCRIBED PROPERTY.

CR

RESIDENTIAL SALES ABUTTING ROADWAY MAINTENANCE DISCLOSURE

ATTENTION: Pursuant to Escambia County Code of Ordinances Chapter 1-29.2, Article V, sellers of residential lots are required to disclose to buyers whether abutting roadways will be maintained by Escambia County. The disclosure must additionally provide that Escambia County does not accept roads for maintenance that have not been built or improved to meet county standards. Escambia County Code of Ordinances Chapter 1-29.2, Article V requires this disclosure be attached along with other attachments to the deed or other method of conveyance required to be made part of the public records of Escambia County, Florida. Note: Acceptance for filing by County employees of this disclosure shall in no way be construed as an acknowledgment by the County of the veracity of any disclosure statement.

Name of Roadway: 9100 Eight Mile Creek Road

Legal Address of Property: 9100 Eight Mile Creek Road, Pensacola, FL 32526

The County () has accepted () has not accepted the abutting roadway for maintenance.

This form Completed by: David A. Sapp, PA
4457 Bayou Boulevard, Pensacola, FL 32503

AS TO SELLER(S):

Clara B Riley
Seller's Name: Clara Belle Riley, individually
and as Trustee

David A Sapp
Witness' Name: David A Sapp

Seller's Name: _____

Witness' Name: _____

AS TO BUYER(S):

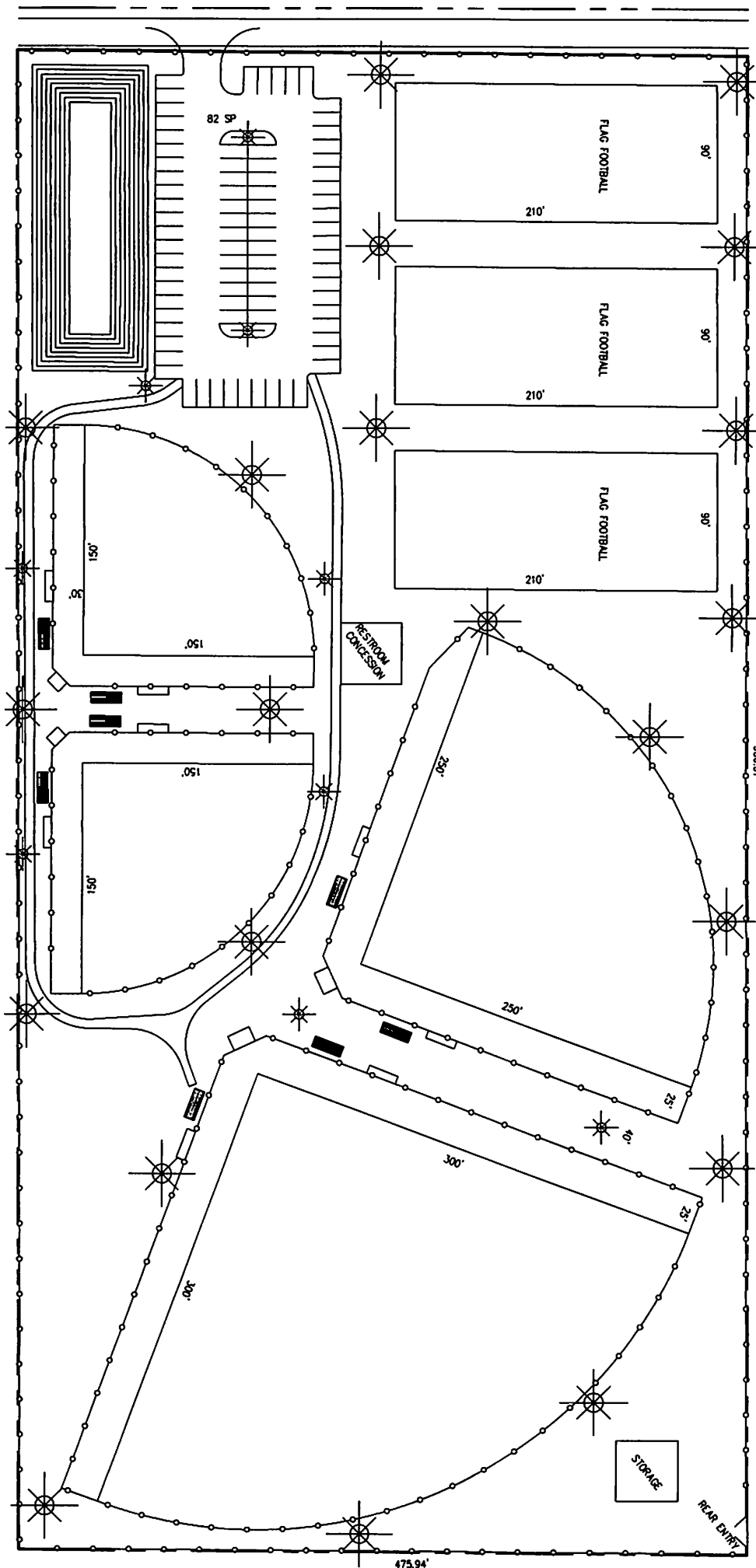
East Hill Christian School, Inc.
Elise Drinkard
Buyer's Name: By: Elise Drinkard, President

David A Sapp
Witness' Name: David A. Sapp

Linda Gibson
Buyer's Name: By: Linda Gibson, Secretary

David A Sapp
Witness' Name: David A. Sapp

THIS FORM APPROVED BY THE
ESCAMBIA COUNTY BOARD
OF COUNTY COMMISSIONERS
Effective 4/15/95
File No.:05-02-40-das





Development Services Department

Building Inspections Division

3363 West Park Place
Pensacola, Florida, 32505
(850) 595-3550
Molino Office - (850) 587-5770

RECEIPT

Receipt No. : **539986**

Date Issued. : 09/08/2011

Cashier ID : VHOWENS

Application No. : PBA110900020

Project Name : CU-2011-11

PAYMENT INFO

Method of Payment	Reference Document	Amount Paid	Comment
Check	716	\$1,050.00	App ID : PBA110900020
		\$1,050.00	Total Check

Received From : BOROWSKI & DUNCAN, INC.

Total Receipt Amount : **\$1,050.00**

Change Due : \$0.00

APPLICATION INFO

Application #	Invoice #	Invoice Amt	Balance	Job Address
PBA110900020	633531	1,050.00	\$0.00	9100 EIGHT MILE CREEK RD, PENSACOLA, FL, 32534

Total Amount :

1,050.00

\$0.00

Balance Due on this/these
Application(s) as of 9/13/2011

C-2011-12



DEVELOPMENT SERVICES STAFF FINDINGS-OF-FACT

**Conditional Use Case: CU-2011-12
October 19, 2011**

I SUBMISSION DATA:

APPLICANT: Phillip A. Pugh, Agent for Marlon E. Gorum,
Shirley L. Gorum, Jerrell L. Gorum and Jerrell
L. Gorum, II

PROJECT ADDRESS: 308 and 320 Massachusetts Avenue

PROPERTY REFERENCE NO.: 46-1S-30-2001-004-031, -2001-008-031

ZONING DISTRICT: C-1, Retail Commercial District

FUTURE LAND USE: MU-U, Mixed Use Urban

II REQUESTED CONDITIONAL USE:

Applicant is requesting Conditional Use Approval to allow used car sales on property zoned C-1.

III RELEVANT AUTHORITY:

Land Development Code of Escambia County, Florida (Ordinance 96-3 as amended), Section: 6.05.14.C.5

Used automobile sales. In addition to other conditional use criteria, parcel must be one acre or less in size: there must be a three-foot tall hedge along the right-of-way line: no intrusions are permitted on the public right-of-way (see section 6.04.09): and it cannot be a C-1 parcel fronting on "gateway" arterial streets which are specified as Sorrento Road/Gulf Beach Highway/Barrancas Avenue (SR292), Blue Angel Parkway (SR173) and Pine Forest Road from 1-10 to SR173, Navy Boulevard (SR295 and US98), and Scenic Highway (SR10A).

IV CRITERIA

Land Development Code of Escambia County, Florida (Ordinance 96-3 as amended), Section 2.05.03.

CU-2011-12

CRITERION (1)

On-site circulation. Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, on-site parking and loading, and access in case of fire or catastrophe.

FINDINGS-OF-FACT

The parcel has ingress and egress from Massachusetts Ave.

CRITERION (2)

Nuisance. Adverse impact such as noise, glare, smoke, odor or other harmful effects (electrical interference, hazardous materials, etc.) of the conditional use on adjoining properties and properties generally in the District.

FINDINGS-OF-FACT

The proposed conditional use is not anticipated to create any adverse impacts on the adjoining properties or properties in the District.

CRITERION (3)

Solid Waste. Refuse and service areas with particular reference to concurrency requirements and items (1) and (2) above.

FINDINGS-OF-FACT

Solid waste is currently available on the subject property and will be further addressed during the site plan review process.

CRITERION (4)

Utilities. Utilities with reference to concurrency requirements, location, availability and compatibility with surrounding land uses.

FINDINGS-OF-FACT

The water is serviced by the Emerald Coast Utility Authority, and electrical service will be provided by Gulf Power.

CRITERION (5)

Buffers. The buffer may be a landscaped natural barrier, a natural barrier or a landscaped or natural barrier supplemented with fencing or other man-made barriers, so long as the function of the buffer and the intent of Policy FLU 1.1.9 of the Comprehensive Plan and the provisions of Section 7.01.06 of the Land Development Code are fulfilled.

FINDINGS-OF-FACT

There must be a three-foot tall hedge along the right-of-way line. Any increase in commercial activity must adhere to Policy FLU MOB 1.1.9 of the Comprehensive Plan and the provisions of Section 7.01.06 of the Land Development Code.

When applicable, further review during the site plan review process will be needed to ensure the buffering requirements and other performance standards have been met.

CRITERION (6)

Signs. Signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the District.

FINDINGS-OF-FACT

All proposed signs will meet the standards delineated in Article 8 of the Escambia County Land Development Code.

CRITERION (7)

Environment impact. Impacts to protected trees, wetlands, water bodies, stormwater management or other natural features of the subject parcel.

FINDINGS-OF-FACT

According to the National Wetlands Inventory there appears to be no wetlands on-site. Stormwater management and all other environment impacts will be addressed during the site plan review process.

CRITERION (8)

Neighborhood impact. General compatibility with adjacent properties and other property in the immediate area.

FINDINGS-OF-FACT

The proposed request is compatible given the parcel's primary C-1 zoning and MU-U FLU designation.

CRITERION (9)

Other requirements of Code. The proposed Conditional Use is consistent with all other relevant provisions of this Code.

FINDINGS-OF-FACT

The proposed Conditional Use must meet the LDC 6.05.14.C.5 used automobile sales. In addition to other conditional use criteria, parcel must be one acre or less in

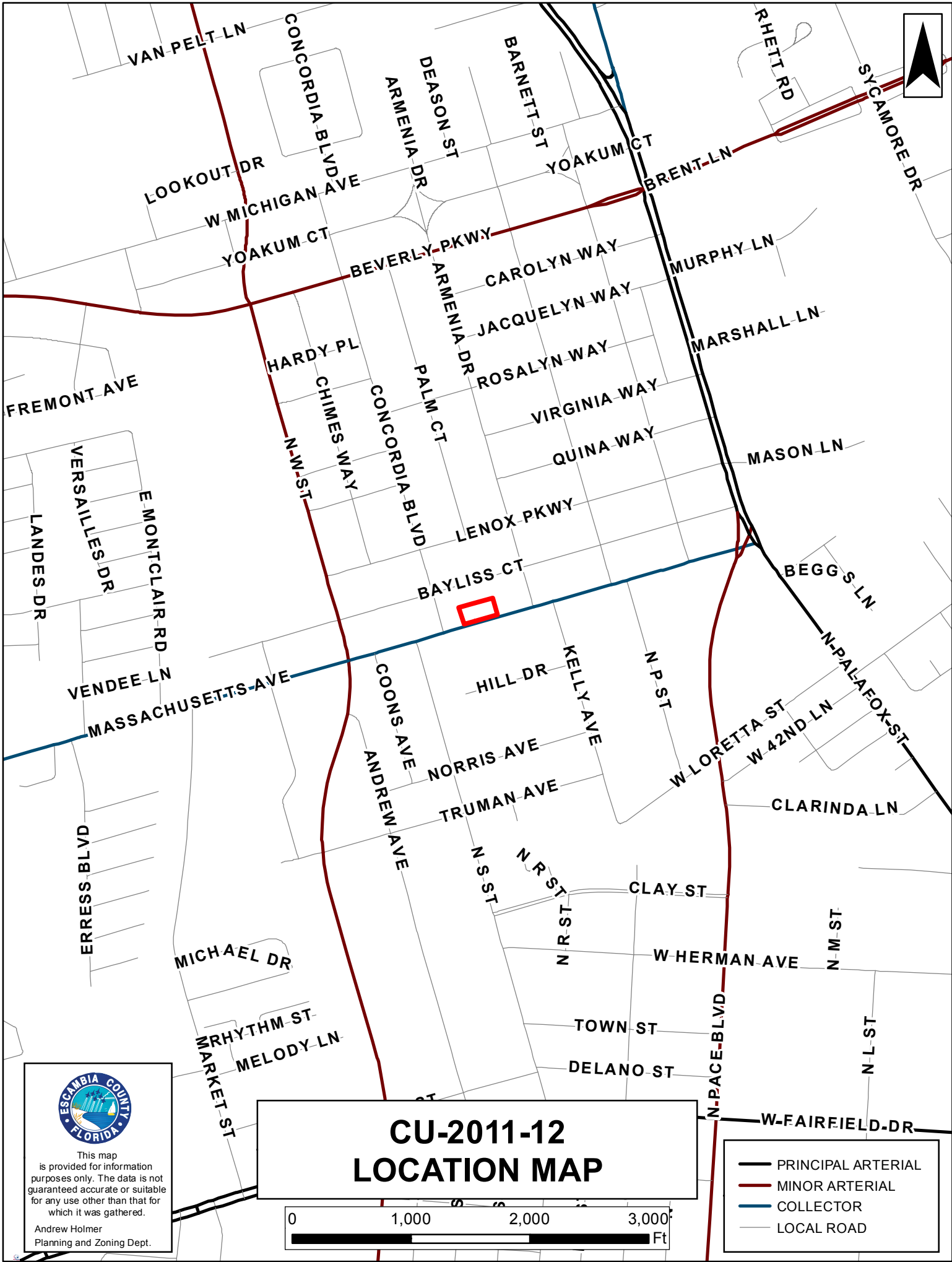
size; there must be a three-foot tall hedge along the right-of-way line; no intrusions are permitted on the public right-of-way (section 6.04.09).

Staff finds that the applicant has appropriately addressed the above requirements. The additional standards in this criterion will be further reviewed during the Site Plan Review process.

V RECOMMENDATION

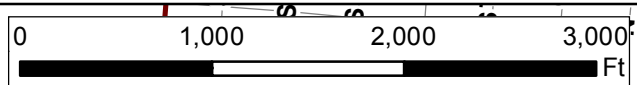
Staff recommends that the Board approve the proposed Conditional Use with the following condition:

- Site plan approval by the Development Review Committee.



CU-2011-12 LOCATION MAP

- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

BAYLISS CT



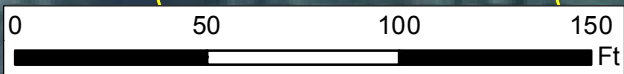
MASSACHUSETTS AVE








This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

CU-2011-12 AERIAL MAP



-  PRINCIPAL ARTERIAL
-  MINOR ARTERIAL
-  COLLECTOR
-  LOCAL ROAD
-  PARCELS



MU-U

LENOX PKWY

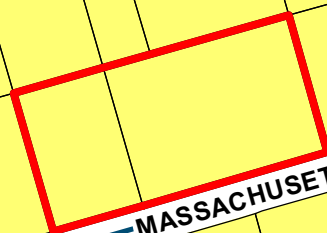
CONCORDIA BLVD

MU-U

ARMENIA DR

REC

BAYLISS CT



MASSACHUSETTS AVE

MU-U

KELLY AVE

MU-U

N S ST

HILL DR

COONS AVE

MU-U

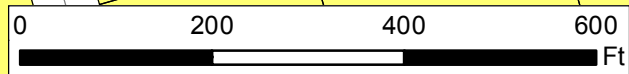
MU-U



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

CU-2011-12 FUTURE LAND USE



- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD
- ▭ PARCELS



R-6

LENOX PKWY

R-6

ARMENIA DR

CONCORDIA BLVD

BAYLISS CT

C-1

MASSACHUSETTS AVE

R-6

KELLY AVE

R-6

N S ST

HILL DR

R-6

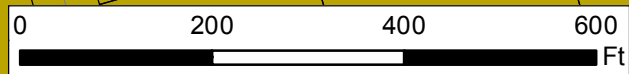
COONS AVE



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

CU-2011-12 500' RADIUS ZONING



- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD
- PARCELS

LITVAK BEASLEY & WILSON, LLP

ATTORNEYS AT LAW

KRAMER A. LITVAK *;
ROBERT O. BEASLEY
PAUL A. WILSON†

226 East Government Street
Post Office Box 13503
Pensacola, Florida 32591-3503
TELEPHONE: (850) 432-9818
FACSIMILE: (850) 432-9830

PENNY HENDRIX
PHILLIP A. PUGH‡

†ALSO ADMITTED IN ALABAMA
‡LL.M. IN TAXATION
*BOARD CERTIFIED TAX ATTORNEY
§BOARD CERTIFIED REAL ESTATE ATTORNEY

September 7, 2011

Via Hand Delivery
Board of Adjustment
3363 West Park Place
Pensacola, FL 32505

RE: Application for Conditional Use

- Property Reference Numbers: #461S302001004031 and #461S302001008031
- Street Address: 308 and 320 Massachusetts Avenue, Pensacola, FL 32505
- Lots 4 through 9, inclusive, Block 31, Brentwood Park Subdivision, according to the Plat thereof recorded in Plat Book 1 at Page 11 of the Public Records of Escambia County, Florida

Ladies and Gentlemen:

Please accept this as a Letter of Request for my clients, Marlon E. Gorum, Shirley L. Gorum, Jerrell L. Gorum and Jerrell L. Gorum, II, the owners of the above described property, for approval of a conditional use. I have enclosed herewith the following:

1. Application
2. Affidavit of Owner and Limited Power of Attorney
3. Copy of Quit-Claim Deed whereby current owners obtained title.
4. Boundary Survey of Subject Property
5. Proposed Site Plan of the Subject Property
6. Copy of Pre-Application DRC Comments for your easy reference
7. My clients' check in the amount of \$1,500.00 representing the application fee.

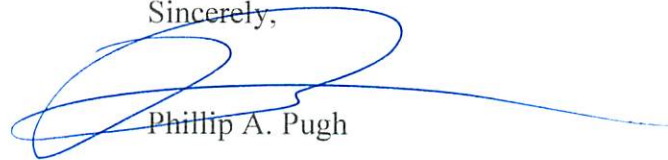
The Subject Property is located in zoning district C-1 Retail Commercial. My clients wish to conduct used automobile sales on the premises. Used automobile sales are specifically allowed as a conditional use under Paragraph 6.05.14 of the Code of Escambia County. Additionally, used automobile sales are not a use which is subject to more stringent requirements under Section 6.08.02 of the Code.

My clients currently store automobiles on the site, which are being "warehoused" for clean up and detailing prior to sale at auction. The conditional use requested will allow them to expand their business by selling automobiles directly from this parcel. My clients have extensive

experience in the automotive sales business. They anticipate being able to employ 6 to 8 additional employees if this conditional use is allowed.

I am available to answer your questions or concerns at any time. Thank you for your consideration.

Sincerely,

A handwritten signature in blue ink, appearing to read "Phillip A. Pugh", with a long horizontal flourish extending to the right.

Phillip A. Pugh

Enclosures

cc: Jerrell L. Gorum, II



Development Services Bureau
Escambia County, Florida

APPLICATION

Please check application type:

- Rezoning
 Variance
 Development Order Extension
 Proposed zoning: _____
 Conditional Use
 Administrative Appeal

Name & address of current owner(s) as shown on public records of Escambia County, FL

Owner(s) Name: _____ Phone: _____

Address: _____ Email: _____

Check here if the property owner(s) is authorizing an agent as the applicant and complete the Affidavit of Owner and Limited Power of Attorney form attached herein.

Property Address: 308 and 320 Massachusetts Ave, Pensacola, FL 32505

Property Reference Number(s)/Legal Description: # 4615302001004031 and # 4615302001008031

By my signature, I hereby certify that:

- 1) I am duly qualified as owner(s) or authorized agent to make such application, this application is of my own choosing, and staff has explained all procedures relating to this request; and
- 2) All information given is accurate to the best of my knowledge and belief, and I understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application; and
- 3) I understand that there are no guarantees as to the outcome of this request, and that the application fee is non-refundable; and
- 4) I authorize County staff to enter upon the property referenced herein at any reasonable time for purposes of site inspection and authorize placement of a public notice sign(s) on the property referenced herein at a location(s) to be determined by County staff; and
- 5) I am aware that Public Hearing notices (legal ad and/or postcards) for the request shall be provided by the Development Services Bureau.

[Signature]
Signature of Owner/Agent

Phillip A. Pugh
Printed Name Owner/Agent

9-7-11
Date

Signature of Owner

Printed Name of Owner

Date

STATE OF Florida COUNTY OF Escambia

The foregoing instrument was acknowledged before me this 7th day of September 20 11,
by Phillip A. Pugh.

Personally Known OR Produced Identification . Type of Identification Produced _____

[Signature]
Signature of Notary
(notary seal must be affixed)

Julia A. Whitson
Printed Name of Notary

FOR OFFICE USE ONLY CASE NUMBER: CU-2011-12

Meeting Date(s): 10/19/11 Accepted/Verified by: _____ Date: _____

Fees Paid: \$ 1050 Receipt #: _____ Permit #: PBA110900021



FOR OFFICE USE:

CASE #: _____

AFFIDAVIT OF OWNER AND LIMITED POWER OF ATTORNEY

As owner of the property located at 308 + 320 Massachusetts Avenue, Pensacola
Florida, property reference number(s) 4615302001004031 and 4615302001008031

I hereby designate Phillip A. Pugh for the sole purpose
of completing this application and making a presentation to the:

- Planning Board and the Board of County Commissioners to request a rezoning on the above referenced property.
- Board of Adjustment to request a(n) conditional use on the above referenced property.

This Limited Power of Attorney is granted on this 20 day of January the year of, 2011, and is effective until the Board of County Commissioners or the Board of Adjustment has rendered a decision on this request and any appeal period has expired. The owner reserves the right to rescind this Limited Power of Attorney at any time with a written, notarized notice to the Development Services Bureau.

Agent Name: Phillip A. Pugh Email: papugh@lampensacola.com
Address: 226 E. Govt St, Pensacola, FL 32502 Phone: 432-9818

	<u>Jerrell L. Gorum Sr.</u>	<u>1/20/11</u>
Signature of Property Owner	Printed Name of Property Owner	Date
	<u>Jerrell L. Gorum</u>	<u>1/20/11</u>
Signature of Property Owner	Printed Name of Property Owner	Date

STATE OF Florida COUNTY OF Escambia

The foregoing instrument was acknowledged before me this 20th day of January 20 11,
by Jerrell L. Gorum Sr. and Jerrell L. Gorum.

Personally Known OR Produced Identification Type of Identification Produced: Florida Drivers Licenses

Signature of Notary Julia A. Whitson (Notary Seal)
Printed Name of Notary



AFFIDAVIT OF OWNER AND LIMITED POWER OF ATTORNEY

As owner of the property located at 308 & 320 Massachusetts Avenue, Pensacola,
Florida, property reference number(s) 461S302001004031 and 461S302001008031

I hereby designate Phillip A. Pugh, Esq. for the sole purpose
of completing this application and making a presentation to the:

Planning Board and the Board of County Commissioners to request a rezoning on the above
referenced property.

Board of Adjustment to request a(n) Conditional Use on the above referenced property.

This Limited Power of Attorney is granted on this _____ day of _____ the year of,
_____, and is effective until the Board of County Commissioners or the Board of Adjustment has
rendered a decision on this request and any appeal period has expired. The owner reserves the right to
rescind this Limited Power of Attorney at any time with a written, notarized notice to the Development
Services Bureau.

Agent Name: Phillip A. Pugh Email: papugh@lawpensacola.com

Address: 226 East Government Street, Pensacola, FL 32502 Phone: 850-432-9818

[Signature]
Signature of Property Owner

Marlon Gorum
Printed Name of Property Owner

9-22-11
Date

Signature of Property Owner

Printed Name of Property Owner

Date

STATE OF Florida COUNTY OF Escambia

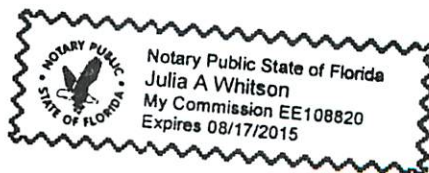
The foregoing instrument was acknowledged before me this 22 day of September 2011,
by Marlon Gorum

Personally Known OR Produced Identification . Type of Identification Produced: Drivers License

[Signature]
Signature of Notary

Printed Name of Notary

(Notary Seal)



STATE OF FLORIDA

OFFICE of VITAL STATISTICS

CERTIFIED COPY

FLORIDA CERTIFICATE OF DEATH

REIN
ARENT
CARR

LOCAL FILE NO. 2725

1 DECEASED'S NAME (First, Middle, Last, Suffix) Shirley Lucille Gorum		2 SEX Female	
3 DATE OF BIRTH (Month, Day, Year) May 25, 1937		4a AGE Last Birthday (Years) 70	4b UNDER 1 YEAR Months Days
5 DATE OF DEATH (Month, Day, Year) October 5, 2007		4c UNDER 1 DAY Hours Minutes	
6 SOCIAL SECURITY NUMBER 264-52-9863		7 BIRTHPLACE (City and State or Foreign Country) Greenville, Alabama	
8 COUNTY OF DEATH Escambia		9 PLACE OF DEATH (Check only one) HOSPITAL: <input type="checkbox"/> Inpatient <input type="checkbox"/> Emergency Room/Outpatient <input type="checkbox"/> Dead on Arrival NON-HOSPITAL: <input type="checkbox"/> Hospice Facility <input type="checkbox"/> Nursing Home/Long Term Care Facility <input checked="" type="checkbox"/> Decedent's Home <input type="checkbox"/> Other (Specify)	
10 FACILITY NAME (If not institution, give street address) 706 Rock Hill Court		11a CITY, TOWN, OR LOCATION OF DEATH Cantonment	
11b INSIDE CITY LIMITS? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		12 MARITAL STATUS (Specify) <input checked="" type="checkbox"/> Married <input type="checkbox"/> Married, but Separated <input type="checkbox"/> Widowed <input type="checkbox"/> Divorced <input type="checkbox"/> Never Married	
13 SURVIVING SPOUSE'S NAME (If wife, give maiden name) Marlon Gorum		14a RESIDENCE - STATE Florida	
14b COUNTY Escambia		14c CITY, TOWN, OR LOCATION Cantonment	
14d STREET ADDRESS 706 Rock Hill Court		14e APT. NO.	14f ZIP CODE 32533
14g INSIDE CITY LIMITS? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		15a DECEDENT'S USUAL OCCUPATION (Indicate type of work done during most of working life. Do not use "Retired") Homemaker	
15b KIND OF BUSINESS/INDUSTRY In own home		16 DECEASED'S RACE (Specify the race/races to indicate what decedent considered himself/herself to be. More than one race may be specified.) <input checked="" type="checkbox"/> White <input type="checkbox"/> Black or African American <input type="checkbox"/> American Indian or Alaskan Native (Specify tribe) <input type="checkbox"/> Asian Indian <input type="checkbox"/> Chinese <input type="checkbox"/> Filipino <input type="checkbox"/> Japanese <input type="checkbox"/> Korean <input type="checkbox"/> Vietnamese <input type="checkbox"/> Other Asian (Specify) <input type="checkbox"/> Native Hawaiian <input type="checkbox"/> Guamanian or Chamorro <input type="checkbox"/> Samoan <input type="checkbox"/> Other Pacific Is. (Specify) <input type="checkbox"/> Other (Specify)	
17 DECEASED OF HISPANIC OR HAITIAN ORIGIN? (Specify if decedent was of Hispanic or Haitian Origin) <input type="checkbox"/> Yes (If Yes, specify) <input checked="" type="checkbox"/> No		18 DECEASED'S EDUCATION (Specify the decedent's highest degree or level of school completed at time of death.) <input type="checkbox"/> 8th or less <input type="checkbox"/> High school but no diploma <input checked="" type="checkbox"/> High school diploma or GED <input type="checkbox"/> College but no degree <input type="checkbox"/> College degree (Specify) <input type="checkbox"/> Associate <input type="checkbox"/> Bachelor's <input type="checkbox"/> Master's <input type="checkbox"/> Doctorate	
19 WAS DECEASED EVER IN U.S. ARMED FORCES? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		20 FATHER'S NAME (First, Middle, Last, Suffix) Zell Armstrong	
21 MOTHER'S NAME (First, Middle, Maiden Surname) Mamie Lee Miller		22a INFORMANT'S NAME Marlon Gorum	
22b RELATIONSHIP TO DECEASED husband		22c CITY OR TOWN Cantonment	
22d STREET ADDRESS 706 Rock Hill Court		22e ZIP CODE 32533	
23a INFORMANT'S MAILING - STATE Florida		24 PLACE OF DISPOSITION (Name of cemetery, crematory, or other place) Bayview Memorial Park Mausoleum	
25a LOCATION - STATE Florida		25b LOCATION - CITY OR TOWN Pensacola	
26a METHOD OF DISPOSITION <input checked="" type="checkbox"/> Burial <input type="checkbox"/> Entombment <input type="checkbox"/> Cremation <input type="checkbox"/> Donation <input type="checkbox"/> Removal from state <input type="checkbox"/> Other (Specify)		26b IF CREMATION, DONATION OR BURIAL AT SEA, WAS MEDICAL EXAMINER APPROVAL GRANTED? <input type="checkbox"/> Yes <input type="checkbox"/> No	
27a LICENSE NUMBER (of Licensee) F046910		27b SIGNATURE OF FUNERAL SERVICE LICENSEE OR PERSON ACTING AS SUCH <i>[Signature]</i>	
28 NAME OF FUNERAL FACILITY Faith Chapel Funeral Home, Inc.		29a FACILITY'S MAILING - STATE Florida	
29b CITY OR TOWN Pensacola		29c STREET ADDRESS 100 Beverly Parkway	
29d ZIP CODE 32505		30 CERTIFIER <input checked="" type="checkbox"/> Certifying Physician: To the best of my knowledge, death occurred at the time, date and place, and due to the cause(s) and manner stated (Check one) <input type="checkbox"/> Medical Examiner: On the basis of examination, and/or investigation, in my opinion, death occurred at the time, date and place, due to the cause(s) and manner stated.	
31a (Signature and Title of Certifier) <i>[Signature]</i>		31b DATE SIGNED (mm/dd/yyyy) 10/10/2009	
31c CERTIFIER'S NAME Thomas B Tan		32 TIME OF DEATH (24 hr.) 0815	
33 MEDICAL EXAMINER'S CASE NUMBER		34 LICENSE NUMBER (of Certifier) ME0062467	
35 NAME OF ATTENDING PHYSICIAN (If other than Certifier)		36a CITY OR TOWN FL Pensacola	
36b STREET ADDRESS 2120 E. Johnson Ave.		36c ZIP CODE 32514	
37 SUBREGISTRAR - Signature and Date <i>[Signature]</i>		38a LOCAL REGISTRAR - Signature <i>[Signature]</i>	
38b DATE FILED BY REGISTRAR (Mo. Day, Yr.) OCT 16 2007		39 REGISTRAR - Signature <i>[Signature]</i>	

State of Florida, Department of Health, Vital Statistics

Ernie Lee Magaha
CLERK OF THE CIRCUIT COURT
ESCAMBIA COUNTY FLORIDA
INST# 2008062858 08/19/2008 at 03:23 PM
OFF REC BK 6366 PG: 1853 - 1853 Doc Type: DC
RECORDING \$10.00

Jeanie A. Carpenter
CHIEF DEPUTY REGISTRAR

OCT 16 2007

THE ABOVE SIGNATURE CERTIFIES THAT THIS IS A TRUE AND CORRECT COPY OF THE OFFICIAL RECORD ON FILE IN THIS OFFICE.
WARNING: THIS DOCUMENT IS PRINTED OR PHOTOCOPIED ON SECURITY PAPER WITH A WATERMARK OF THE GREAT SEAL OF THE STATE OF FLORIDA ON THE FRONT, AND THE BACK CONTAINS SPECIAL LINES WITH TEXT AND SEALS IN THERMOCHROMIC INK.



DH FORM 1946 (08-04)

41274523

CERTIFICATION OF VITAL RECORD



* 4 1 2 7 4 5 2 3 *

VOID IF ALTERED OR ERASED

VOID IF ALTERED OR ERASED





Chris Jones

Escambia County Property Appraiser

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 [Tangible Property Search](#) |
 [Amendment 1 Calculations](#)

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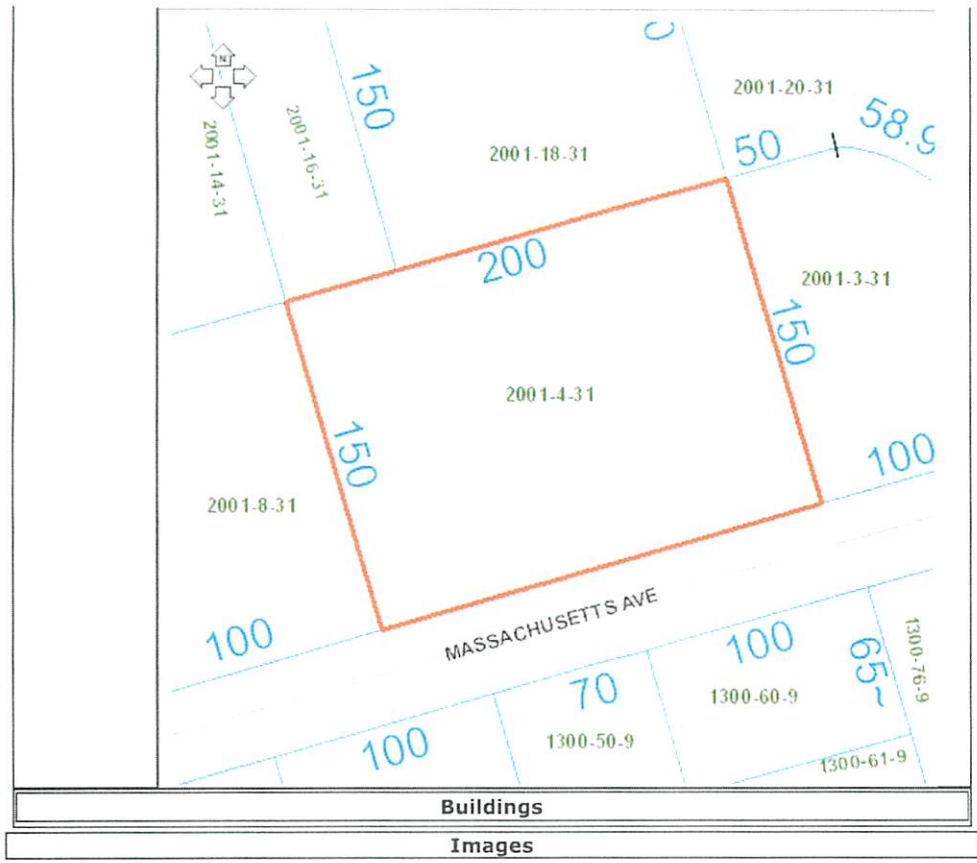
Printer Friendly Version

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Restore Map
[Get Map Image](#)
[Launch Interactive Map](#)

Parcel Information
<p>Section Map Id: 46-1S-30-1</p> <p>Approx. Acreage: 0.6800</p> <p>Zoned: C-1</p>



None

The primary use of the assessment data is for the preparation of the current year tax roll. No responsibility or liability is assumed for inaccuracies or errors.

Last Updated: 11/04/2010 (tc.1389)



Chris Jones

Escambia County Property Appraiser

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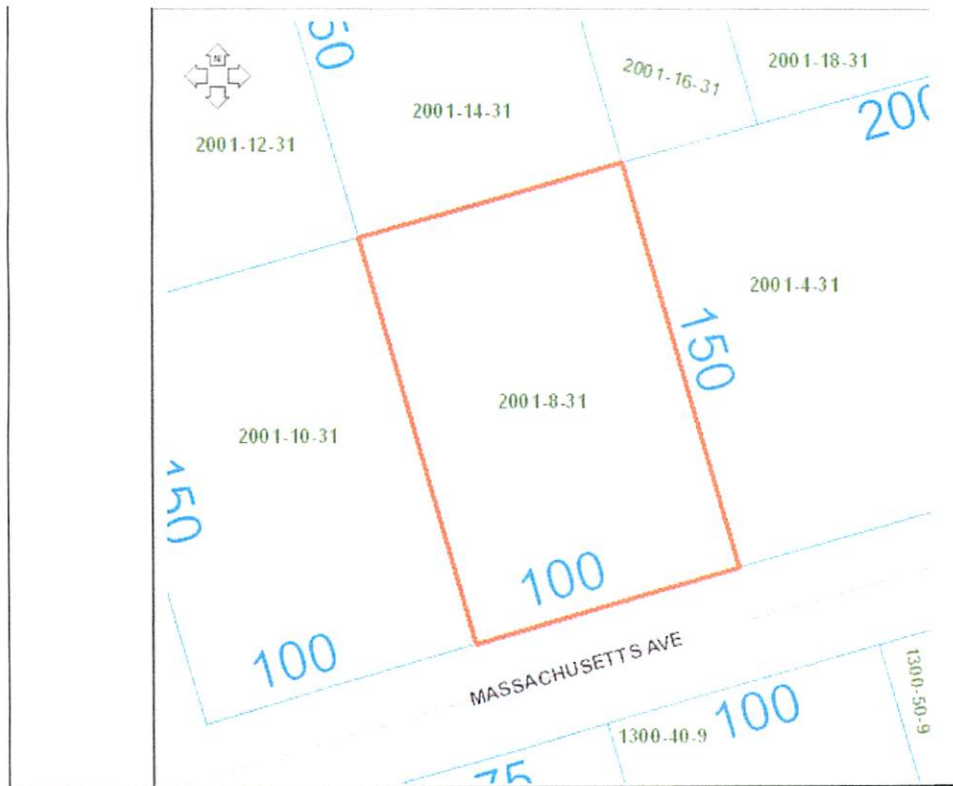
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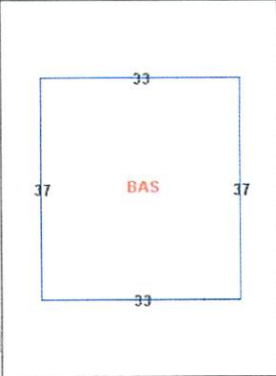


Buildings

Building 1 - Address:320 MASSACHUSETTS AVE, Year Built: 1950, Effective Year: 1950

Structural Elements

FOUNDATION-WOOD/NO SUB FLR
EXTERIOR WALL-SIDING-SHT.AVG.
NO. PLUMBING FIXTURES-3.00
DWELLING UNITS-1.00
ROOF FRAMING-WOOD FRAME/TRUS
ROOF COVER-COMPOSITION SHG
INTERIOR WALL-DRYWALL-PLASTER
FLOOR COVER-PINE/SOFTWOOD
NO. STORIES-1.00
DECOR/MILLWORK-MINIMUM
HEAT/AIR-UNIT HEATERS
STRUCTURAL FRAME-WOOD FRAME



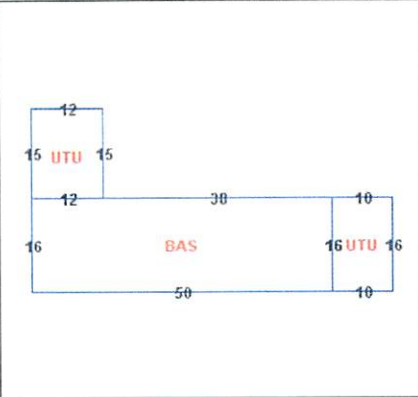
Areas - 1221 Total SF

BASE AREA - 1221

Building 2 - Address:330 MASSACHUSETTS AVE, Year Built: 1970, Effective Year: 1970

Structural Elements

FOUNDATION-SLAB ON GRADE
EXTERIOR WALL-CONCRETE BLOCK
NO. PLUMBING FIXTURES-2.00
ROOF FRAMING-FLAT/SHED
ROOF COVER-ROLLED ROOFING
INTERIOR WALL-EXPOSED BLK/BRK
FLOOR COVER-CONCRETE-FINISH
NO. STORIES-1.00
DECOR/MILLWORK-MINIMUM
HEAT/AIR-UNIT HEATERS
STRUCTURAL FRAME-MASONRY
 PIL/STL



Areas - 1140 Total SF

BASE AREA - 800

UTILITY UNF - 340

Images

None

[JERRELL L. GORUM]
3781 Nobles ST.
PENSACOLA, FL.
32514
[]

Above Space Reserved for Recording

[If required by your jurisdiction, list above the name & address of: 1) where to return this form; 2) preparer; 3) party requesting recording.]

Quitclaim Deed

Date of this Document: 6/28/07

Reference Number of Any Related Documents: _____

Grantor:

Name MARLOW E. GORUM & Shirley L. GORUM
Street Address 706 Rock Hill CT.
City/State/Zip CANTONMENT, FL. 32533 - 7484

Grantee: JERRELL L. GORUM II MARLOW E. GORUM
OR AND OR
Name JERRELL L. GORUM SHIRLEY L. GORUM
Street Address 3781 Nobles ST. 706 Rock Hill CT.
City/State/Zip PENSACOLA, FL. 32514 CANTONMENT, FL.
32533 - 7484

Abbreviated Legal Description (i.e., lot, block, plat or section, township, range, quarter/quarter or unit, building and
condo name): LOTS 4, 5, 6, 7, 8, 9, 10, 11 BLK. 31, BRENTWOOD PK. S/D
PB 1 P 11, SEC. 8/10 T 2S R 30 AND

Assessor's Property Tax Parcel/Account Number(s): 04-2677-000, 04-2678-000,
04-2679-000

THIS QUITCLAIM DEED, executed this _____ day of _____,
20____, by first party, Grantor, _____, whose
mailing address is _____,
second party, Grantee, _____, to
whose mailing address is _____.

WITNESSETH that the said first party, for good consideration and for the sum of _____
Dollars (\$ _____) paid by the said second party, the receipt whereof is hereby acknowledged,
does hereby remise, release and quitclaim unto the said second party forever, all the right, title, interest and claim,

which the said first party has in and to the following described parcel of land, and improvements and appurtenances thereto in the County of _____, State of _____
to wit: _____

IN WITNESS WHEREOF, the said first party has signed and sealed these presents the day and year first written above. Signed, sealed and delivered in the presence of:

Signature of Witness

Print Name of Witness

[Signature]
George Farrant 950 Night mare lane

Signature of Witness

Print Name of Witness

[Signature]
Spencer Hustins 6606 Hampton RD Pensacola FL

Signature of Grantor

Print Name of Grantor

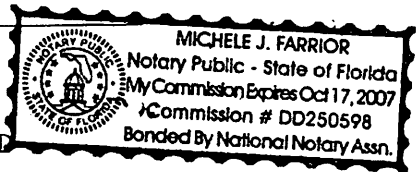
x [Signature] x [Signature]
MARLON E. GORUM & SHIRLEY L. GORUM

State of Florida
County of ESCAMBIA

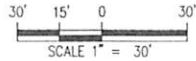
On 6-28-07, before me, Michele J. Fariior,
appeared MARLON E. + Shirley L. Gorum, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

[Signature]
Signature of Notary



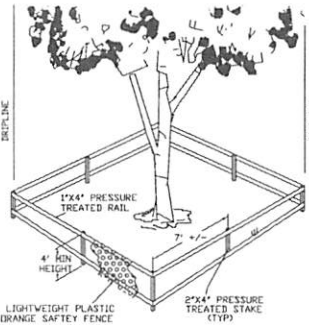
Affiant Known Produced ID
Type of ID
(Seal)



WILLRUSSELIE COURT (57' R/W)

LOT COVERAGE		
TOTAL LAND AREA	- SF	- ACRES
EXISTING IMPERVIOUS	- SF	- %
EXISTING SEMI-IMPERVIOUS	- SF	- %
EXISTING PEROVIOUS	- SF	- %
EXISTING IMP. TO BE REMOVED	- SF	
EXISTING SEMI-IMP. TO BE REMOVED	- SF	
EXISTING PEROVIOUS TO BE REMOVED	- SF	
PROPOSED PAVING/CONCRETE	- SF	
PROPOSED BUILDINGS	- SF	
PROPOSED SEMI-IMPERVIOUS	- SF	
NEW + EXISTING IMPERVIOUS	- SF	- %
NEW + EXISTING SEMI-IMPERVIOUS	- SF	- %
REMAINING PEROVIOUS	- SF	- %

FLOOD ZONE(S)	COMMUNITY NUMBER	MAP NUMBER	PANEL NUMBER(S)	MAP REVISION DATE
"X"	120080	12033C	0380 G	SEPTEMBER 29, 2008



TREE BARRICADES SHOULD BE IN PLACE AROUND THE DRIPLINE OF THE PROTECTED TREES MARKED FOR PRESERVATION PRIOR TO ANY LAND DISTURBANCE CONSISTENT WITH THE DEVELOPMENT ORDER.

TREE BARRICADE
N.T.S.

- CLIENT'S NOTES:**
- THIS SURVEY WAS PREPARED FOR THE CLIENT SHOWN AND IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT PRIOR CONSENT FROM THIS SURVEYOR.
 - ALL MEASUREMENTS WERE MADE ACCORDING TO LIMITED STATES STANDARD FOOT.
 - NO TITLE RESEARCH WAS PERFORMED BY THIS SURVEYOR, NOR WERE WE FURNISHED WITH SUDS.
 - NO INSTRUMENT OR RECORD REFLECTING ELEVATIONS, RIGHT-OF-WAY, AND/OR OWNERSHIP WERE FURNISHED TO THIS SURVEYOR EXCEPT AS SHOWN.
 - NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN.
 - ALL MEASUREMENTS AND DISTANCES ARE GIVEN UNLESS OTHERWISE NOTED.
 - ERROR OF CLOSURE MEETS MINIMUM TECHNICAL STANDARDS.
 - THERE MAY BE ADDITIONAL RESTRICTIONS AFFECTING THIS PROPERTY THAT MAY BE FOUND RECORDED IN THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA THAT DO NOT APPEAR ON THE FACE OF THIS PLAT.
 - BASE OF BEARING: NORTH 89°57'47" EAST FOR THE NORTH BOUNDARY; OF WAY LINE OF MASSACHUSETTS AVENUE PER PLAT.
 - REFERENCE CORNER: FIELD MARK AND EXISTING FIELD MONUMENTATION; PLAT OF BRENTWOOD PARK, RECORDED IN PLAT BOOK 1, PAGE 11, PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.
 - ENCLOSURES ARE AS SHOWN.
 - IT IS THE OPINION OF THE UNDERSIGNED SURVEYOR THAT THE PARCELS OF LAND SHOWN HEREON AS PER THE FLOOD RESISTANCE RATE MAP INFORMATION AS FOLLOWS:
- ZONE: "X"
ELEVATION: N/A
FLOOD NUMBER: 12033C 0380 G
AS DATED: 09/29/08
- THE CERTIFICATE OF ACCREDITATION NUMBER FOR KJM SURVEYING, INC. IS: 15264.

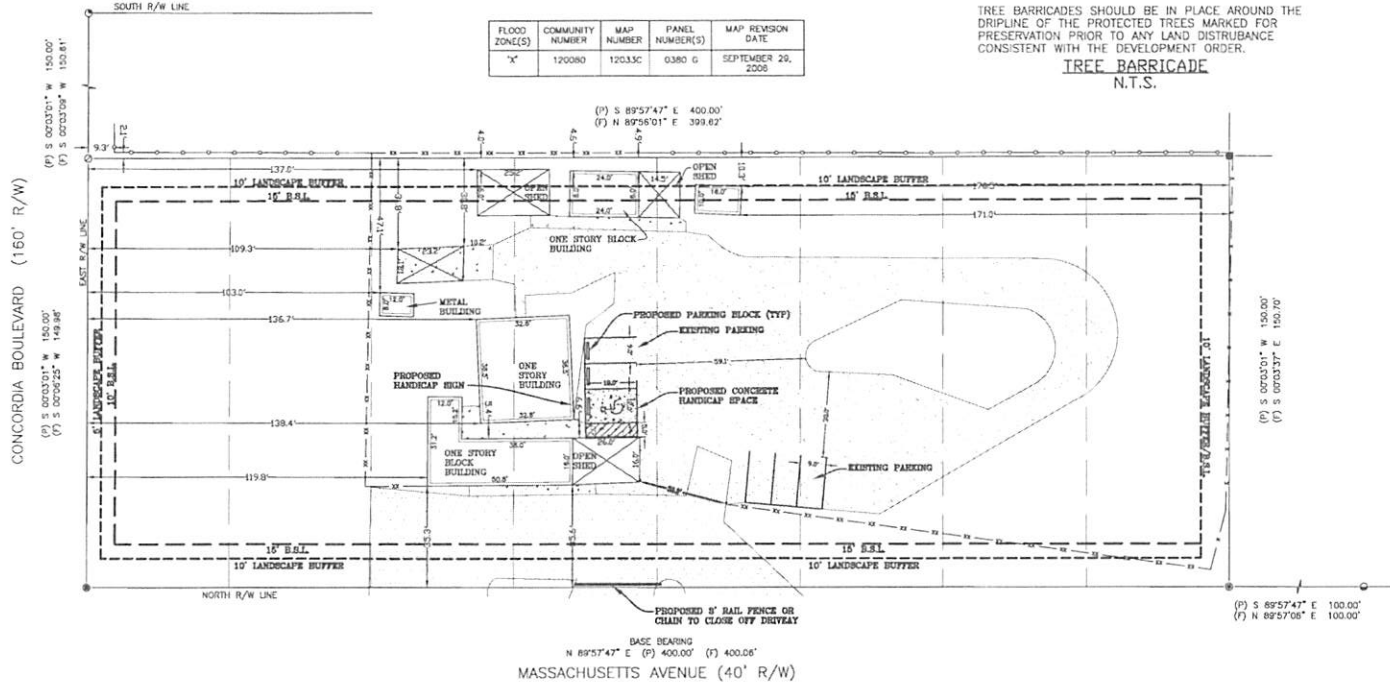
DESCRIPTION:
LOTS 4 THROUGH 11, BLOCK "31", BRENTWOOD PARK SUBDIVISION, BEING A PORTION OF SECTIONS 46 & 47, TOWNSHIP 1 SOUTH, RANGE 30 WEST, AND SECTIONS 8 & 10, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 11 OF THE PUBLIC RECORDS OF SAID COUNTY.

PARKING CALCULATIONS:
FROM 701.08 B.2 OF SANTA ROSA COUNTY LDC.
USED AUTOMOBILE SALES: 1 SPACE PER 400 SF;
--- sf/400 = --- REQUIRED SPACES.

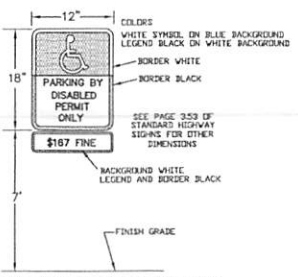
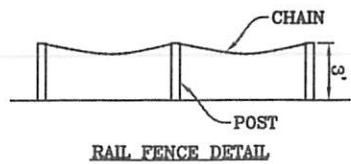
TREE CALCULATIONS:
FRONTAGE BUFFER
400' TOTAL FRONTAGE
400/250 = 1.6
THEREFORE, 8 TREES ARE REQUIRED
(- EXISTING, - PROPOSED)

INCOMPATIBLE ZONING BUFFER
400.00' ALONG NORTH BOUNDARY
400.00/100 = 4.00
4.00 X 2 = 8 CANOPY TREES (- EXISTING, - PROPOSED)
4.00 X 1 = 4 UNDERSTORY TREES (- EXISTING, - PROPOSED)
4.00 X 6 = 24 SHRUBS (- EXISTING, - PROPOSED)

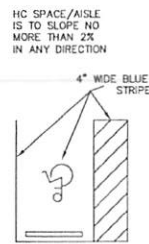
150.00' ALONG EAST BOUNDARY
150.00/100 = 1.50
1.50 X 2 = 3 CANOPY TREES (- EXISTING, - PROPOSED)
1.50 X 1 = 2 UNDERSTORY TREES (- EXISTING, - PROPOSED)
1.50 X 6 = 9 SHRUBS (- EXISTING, - PROPOSED)



- LEGEND**
- - FOUND 1/2" PLAIN IRON PIPE
 - - FOUND 1/2" CAPPED IRON ROD #5731
 - - FOUND 1/2" CAPPED IRON ROD #7277
 - - FOUND 1/2" IRON ROD
 - - FOUND 1/2" CAPPED IRON ROD #7212
 - (P) - PLAT
 - (F) - FIELD
 - R/W - RIGHT-OF-WAY
 - - LIGHT POLE
 - - 6" WOODEN FENCE
 - - 4" CHAIN LINK FENCE
 - - 6" CHAIN LINK FENCE
 - - ASPHALT
 - - CONCRETE
 - - GRAVEL



WALL MOUNTED FL DISABLED PARKING
SIGN #G-61-BE'S WITH MESSAGE
N.T.S.



ADDRESS: 330 MASSACHUSETTS AVENUE
REQUESTED BY: PHILIP PUGH
TYPE: BOUNDARY SURVEY WITH IMPROVEMENTS
SECTION 46, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY

SCALE:	FIELD BOOK:	PAGE:	ORIP:	FIELD DATE:	DRAWN BY:	CHECKED BY:
1"=30'	N/A	N/A	CJ/AVC	09/21/11		

DATE: 09/24/11 FURNISHED SURVEY: N/A

NO.	DATE	REVISIONS	APPROVED BY:

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 54-17.001, 54-17.001 AND 54-17.002, PURSUANT TO SECTION 471.021, FLORIDA STATUTES.

NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE ORIGINAL SIGNED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

KJM
Surveying, Inc.
KIMBERLY J. MOORE, PLS
CORPORATE: 833 W. 100th ST
STATE OF FLORIDA

OFFICE NUMBER: 11-15264

Pre-Application Reviewer Comments

Site Plan Minor Pre-Application Reviewer Comments

Denise _____
Halstead _____

DRC Meeting Date: January 26, 2011

Project #: PSP110100003

Project Name: Massachusetts Auto Sales

Project Address: 308 Massachusetts Avenue

This is a preliminary review designed to provide information and guide the applicant through the Development Review Process. Once your project has been formally submitted (fees paid and application processed) to Escambia County for review, there may be additional Land Development Code and Comprehensive Plan regulations that may be applicable.

Please Address the Following Comments

Access Management

Reviewer: Jason Walters @ 850-595-3422
Jason_Walters@co.escambia.fl.us

- 1) Escambia County's Land Development Code (LDC) requires 125 feet of separation between commercial driveways on roadways with a speed limit of 35 MPH or less [LDC 4.06.06.C.5]. Applicant shall close the (center) driveway connection to Massachusetts Avenue just west of the large oak tree [LDC 7.11.07.A]. Access staff will allow the substandard offset of the other two driveway connections due to the nature of the anticipated mode of transport of some of the vehicles.
- 2) Applicant shall pave the driveway connections within the right-of-way of Massachusetts Avenue. Applicant should consider ribbon curbing along the edges of asphalt driveway to protect the integrity of the newly constructed connection. Driveway width may not exceed 36 feet.
- 3) All required parking spaces, drive aisles, and accesses shall be finished in an all weather surface (i.e., uniform grade #57 stone).
- 4) If a dumpster is proposed, note or show the intended location.

Stormwater

Reviewer: Roza I. Sestnov @ 850-595-3411
Roza_Sestnov@co.escambia.fl.us

- 1) The increase in impervious surface resulting from modifications to existing development with a net increase of less than 1000 sf would result in a stormwater exemption. It appears that this project may qualify for this exemption. Please provide a note on the plans: "No additional impervious area is proposed to the site".
- 2) Please provide the following notes on the plans:
 - a) "No deviations or revisions from these plans by the contractor shall be allowed without prior approval from both the design engineer and the Escambia County. Any deviations may result in delays in obtaining a certificate of occupancy."
 - b) If any land disturbance occurs please provide a note: "The contractor shall install prior to the start of construction and maintain during construction all sediment control measures as required to retain all sediments on the site. Improper sediment control measures may result in Code Enforcement violation."
 - c) If any land disturbance occurs please provide a note: "All disturbed areas which are not paved shall be stabilized with seeding, fertilizer and mulch, hydroseed and/or sod."
 - d) "The owner or his agent shall arrange/schedule with the County a final inspection of the development upon completion and any intermediate inspections at 850-595-3472. As-built certification is required prior to request for final inspection/approval."
 - e) If any land disturbance occurs please provide a note: "Notify Sunshine Utilities 48 hours in advance prior to digging within right-of-way; 1-800-432-4770."
 - f) If any land disturbance occurs please provide a note: "Any damage to existing roads during construction will be repaired by the developer prior to final "as-built" sign off from the County."
- 3) Drainage fees shall be paid at the time of the final comparison submittal. Drainage fees will be determined at the time of route sheet sign off.

Pre-Application Reviewer Comments

Planning

Reviewer: John Fisher @ 850-595-4651
John_Fisher@co.escambia.fl.us

- 1) Will need a **Conditional Use**.
- 2) On the plan **provide the property reference numbers** of the development **site and adjoining parcels**. Show any intersection of adjoining parcel boundaries with the development site parcel.(4.06.09) Show the entire parcel.
- 3) On the plan provide the zoning district(s), future land use category (FLU), and existing uses of the development site and adjoining parcel(s) (4.06.09.V).
- 4) On the plan designate the proposed surfaces. Quantify them in square feet and percent of total to demonstrate the maximum impervious cover will not be exceeded and the minimum landscape area will be provided (4.06.09.Q, S).
- 5) For the parking area, show the proposed layout of drive aisles, parking stalls, and landscape islands (7.01.05.N and 7.02.00.H). Include dimensions (referenced minimum drive aisle width for right angle stalls is 24 feet).
- 6) Show what means (raised curb, wheel stops, cross ties, bollards, etc.) will be used to prevent vehicle encroachment beyond the parking surface, both at the lot perimeter and at internal landscape islands (7.01.05.N.2.d).
- 7) Show parking calculations with Handicap spaces also labeled on site plan.
- 8) Show setbacks and size dimensions of parking spaces, buildings, lot width, dock out from water, and other spaces as needed please be detailed as possible.
- 9) Provide a scaled drawing of exterior building elevations and a generalized floor plan identifying uses and areas (sq ft) within the proposed buildings (4.06.09.B).
- 10) On the plan quantify and symbolize the minimum number of required trees and shrubs for road frontage, parking lot, buffering, and screening. Quantify what exists and what is proposed. More than the County's minimum required landscaping may be proposed, but the plans must clearly distinguish between what is required and what is provided (proposed or existing).
- 11) Where is your dumpster going to be located? Provide a 6 ft privacy fence around the dumpster.
- 12) Show setbacks and size dimensions of parking spaces, buildings, lot width, dock out from water, and other spaces as needed please be detailed as possible.
- 13) **If no trees are to be removed, add a note to the site plan stating that no "protected trees" will be removed**, destructively damaged, mutilated, relocated, disfigured, destroyed, cut down, or excessively pruned during construction activities (7.01.03.C1).
- 14) The plan and notes do not accurately address proposed removal of protected trees and their mitigation (7.01.04.A.2 and 7.01.05.N.2.e). The table 7.01.00 may be used to summarize proposed tree removal and mitigation. Refer to the applicable LDC citations as necessary. Account for multi-trunk trees by using the equivalent cross-sectional area of a single-trunk tree, where equivalent diameter is the square root of the sum of the squares of multiple trunk diameters. In addition to any trees within the building area(s), if County or FDOT access management standards do not allow the drive to be located so as to avoid tree removal, trees at the immediate point of access would be exempt from mitigation. Apply the site area mitigation cap after any preservation credits have been applied.
- 15) On the plan symbolize tree barricades for existing trees that are to remain. Indicate they are to be installed prior to any land disturbance activity and are to remain through construction. Provide and reference a typical barricade construction detail. Symbolize the barricades to the extent of the tree canopies, or the general limit of proposed improvements, whichever is less (7.01.04.A.1).
- 16) Heritage and champion trees are protected in all land uses (7.01.02C). Please add a note to the site plan regarding the presence of heritage or champion trees. If any are located on the site, please show on the site plan.
- 17) The Land Development Code calls for the preservation and protection of certain existing trees. Tree removal shall be granted or denied based on standards in LDC sections 7.01.04.C.1 thru 7.01.04.C.6.
- 18) A tree mitigation table should be inserted on the site plan showing all protected trees for removal, their species, DBH, mitigation requirements, and credits if applicable. An example of the mitigation table is available at NESD.

Pre-Application Reviewer Comments

- 19) Replacement trees should be like (canopy) types, but parking lot island or frontage trees need not be canopy types. Provide definitions of canopy (mature height 30 feet or greater) and understory (mature height less than 30 feet) trees.
- 20) Indicate that trees proposed to meet minimum County landscaping requirements must be at least 9 feet in height at time of planting. Specification of a minimum caliper is also recommended.
- 21) On the plan quantify and symbolize the minimum number of required trees and shrubs for road frontage, parking lot, buffering, and screening. Quantify what exists and what is proposed. More than the County's minimum required landscaping may be proposed, but the plans must clearly distinguish between what is required and what is provided (proposed or existing).
- 22) Freestanding signage is additionally limited to one sign per street frontage, a maximum 200 sq. ft. in area, a maximum 35 feet in height, and a minimum 200 feet from any other such site sign. Each freestanding sign is limited to a minimum 10 feet setback from rights-of-way and must maintain visual clearance along rights-of-way and at intersections. A valid Escambia County Sign Permit must be obtained prior to erecting, constructing, altering, or relocating any site signage. For those signs placed on a corner, the side setback will be determined by measuring 35 feet along the intersections of the two public rights-of-way.
- 23) *7.01.06. Buffering between zoning districts and uses.*
 - A. *Zoning districts.* The following spatial relationships between zoning districts require a buffer:
 - B. 3. C-1, C-1PK, C-2 GBD or GMD districts, where they are adjacent to single-family or two-family districts (RR, SDD, R-1, R-1PK, R-2, R-2PK, R-3, V-1, V-2, V-3, V-5, VR-1, VR-2, PUD) or multiple-family and office districts (R-3PK, R-4, R-5, R-6, V-4, VM-1, VM-2, PUD), or agricultural districts (AG and VAG).
 - C. 4. ID-P, ID-1, ID-2, GID districts, where adjacent to residential, commercial, agricultural or SDD districts.
 - D. B. *Land uses.* The following relationships between land uses require a buffer:
 1. Multiple-family, zero lot line or office uses, where they are adjacent to single-family or two-family uses.
 2. Commercial land uses, where they are adjacent to residential uses.
 3. Industrial land uses, where they are adjacent to residential, office, agricultural or commercial uses.
 - E. C. *Responsibility for buffer.* For buffers on parcels between zoning districts, the property owner requesting approval of a site plan or a building permit shall be responsible for providing and maintaining said buffer.
 - F. D. *Buffer standards.*
 1. *Function.* Buffers shall be designed to protect the lower intensity use from the more intensive use (agriculture from residential, residential from commercial, etc.) and provide an aesthetically attractive barrier between such uses. The buffer shall function to protect each land use from the intrusive effects of adjacent activities and minimize the adverse impacts of the uses upon each other. It is the intent of this part that the negative impacts of the uses upon each other are minimized or, preferably, eliminated by the buffer such that the longterm continuance of either use is not threatened by such impact and, therefore, incompatibility between uses is minimized or eliminated.
 2. *Type.* The buffer shall be a natural vegetative barrier or a landscaped barrier or combination thereof, supplemented with fencing or other manmade barriers within the required landscaped strip. These landscaped strips shall be of a minimum of ten feet in width and shall be landscaped for every 100 linear feet with plant coverage following Standard A-2 (for a ten-foot wide strip). Natural barriers proposed to remain shall meet these minimum requirements or the applicant must provide evidence that the existing natural barrier will fulfill the intent of subpart.
- 24) Health Dept (Stephen Metzler 850-595-6700 stephen_metzler@doh.state.fl.us)-No comment.
- 25) ECUA (Wendell Kutzer 850-969-3310 wkutzer@ecua.org)-No comment.

Pre-Application Reviewer Comments

Environmental Permitting

Reviewer: Brad Bane @ 850-595-4572
Bradley_Bane@co.escambia.fl.us

- 1) The flood zone information provided on the survey appears correct; however, if a site plan is required by the county, please provide such information in table format below per standard comment:

Per Escambia County Land Development Code (LDC) Articles 4.02.05 e, 4.06.09 R & T, etc. flood zone elevation data and boundary information should be detailed on development plans. As Escambia County is looking to decrease map information errors and simplify its reporting, when conveying flood zone(s) and flood zone map(s) information on future submittals, staff requests that the following table (or a similar version thereof) please be included on the plans, with the appropriate additional information inserted, for the parcel proposed for development: (*Note: figures given are constants)

The parcel shown for development is located within the following Flood Zone(s) as detailed by FEMA FIRM (Flood Insurance Rate Map) information described below:					
Flood zone(s)	Community number	Map number	Panel number(s)	Suffix	Map Revision Date
	120080	12033C		G	September 29, 2006
<i>If site lies within more than one flood zone, please delineate & label each zone & include information in legend. Include all FEMA Panel #'s parcel falls within.</i>					

Fire Safety

Reviewer: Kirk Stierwalt @ 850-595-1810
Kirk_Stierwalt@co.escambia.fl.us

- 1) **18.2.3.2** Access to building.
- 2) **18.2.3.2.1** A fire department access road shall extend to within 50 ft (15 m) of at least one side-hinged, swinging type egress exterior door that can be opened from the outside and that provides access to the interior of the building. This provision does not apply to any buildings or structures not requiring a side-hinged, swinging type egress.
- 3) **18.2.3.4.1** Dimensions.
- 4) **18.2.3.4.1.1** Fire department access roads shall have an unobstructed width of not less than 20 ft (6.1 m) and an unobstructed vertical clearance of not less than 13 ft 6 in. (4.1 m). Minimum width may be reduced to meet special access with the approval of the fire official.
- 5) **18.2.3.4.2** Surface. Fire department access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with an all-weather driving surface.
- 6) **18.3** Water Supplies and Fire Hydrants.
- 7) **18.3.1*** An approved water supply capable of supplying the required fire flow for fire protection shall be provided to all premises upon which facilities, buildings, or portions of buildings are hereafter constructed or moved into the jurisdiction.
- 8) **18.3.3*** The number and type of fire hydrants and connections to other approved water supplies shall be capable of delivering the required fire flow and shall be provided at approved locations.
- 9) Indicate location of fire hydrant to be a maximum of 500 ft to farthest point of buildings as hose lies.
- 10) Indicate use of all buildings on site.

Pre-Application Reviewer Comments

Traffic Concurrency

Reviewer: Tommy Brown @ 850-595-3434

Thomas_Brown@co.escambia.fl.us

- 1) Project should meet traffic concurrency. A final review for traffic concurrency will be conducted after all other sign-offs have been obtained on the final comparisons.

Handicap Access

Reviewer: Ronny McGlothren @ 850-595-3588

Ronny_McGlothren@co.escambia.fl.us

- 1) If you are adding an office then provide handicap parking with details and penalty sign of \$167.00 on your site plan.

Please contact each reviewer to schedule an appointment.

INITIAL TEST FOR TRAFFIC CONCURRENCY WORKSHEETS

DEVELOPMENT REVIEW COMMENTS

_____ Approved By: Date: _____

_____ Additional information or analysis needed. Date: _____

Project should meet traffic concurrency. A final review for traffic concurrency will be conducted after all other sign-offs have been obtained on the site plan final comparisons.

Rev 01/28/03

Eng #: _____ **Planning ID #:** PSP110100003

Pre-App: X MP: _____ PP: _____ SP: _____ Mini: _____

Project Name & Address: Massachussetts Auto Sales - 308 Mass Ave

Roadway Facility: Mass Ave from Mobile Hwy to Pace Blvd

Project Description: Used car sales **District:** _____ **TAZ:** 152

Worksheet Prepared By: Thomas Brown, Jr **Phone:** (850) 595-3434 **Date:** 01/25/11

TRIP GENERATION

Source: latest edition of *Trip Generation*, ITE or data collected from related development may be accepted if sufficiently documented.

ITE Land Use: <u>New Car Sales</u>	best fit	ITE Code: <u>841</u>	Page #: <u>1527</u>
Independent Variable: <u>Employees</u>			
Size of Independent Variable:		10	[A]
Average Rate for PH (4-6 P.M.) of Adjacent Street Traffic:		<u>0.96</u>	[B]
Driveway Trips (A*B), result from fitted curve equation or trips from locally collected data:		9.6	[C]
Internal Capture Rate Percentage (if applicable):			0% [D]
Internal Trips (C*D):			0.0 [E]
Adjusted Driveway Trips (C-E):			9.6 [F]
Pass-By Trip Percentage (if applicable):			0% [G]
Pass-By Trips (F*G):			0.0 [H]
New Driveway Trips (F-H):			<u>10</u> [I]

AREA OF INFLUENCE FOR TRIP DISTRIBUTION / ASSIGNMENT

Is the number of New Driveway Trips [I], greater than 50 for commercial or greater than 5% of the Service Volume (column 22) for residential? **NO** [J]

_____ If "YES" to [J], applicant is required to submit trip distribution for the proposed development. Applicant is encouraged to discuss methodology prior to preparing trip distribution.

X If "NO" to [J], continue with PART I: *De Minimis* Determination on the following page.

ROADWAY IMPACT ANALYSIS

Complete an Attachment for *each* impacted roadway segment to determine if the traffic impact is *de minimis* (PART I).
If the impact is non *de minimis*, continue with PART II. Reference the latest edition of the *Traffic Volume and Level Of Service Report*.

Attachment 1 of 1

Project Name & Address: Massachusetts Auto Sales - 308 Mass Ave
Roadway Facility: Mass Ave from Mobile Hwy to Pace Blvd

PART I: De Minimis Determination

Based on the LDC Section 5.12.03 adopted March 1, 2001. Reference the latest edition of the *Traffic Volume and LOS Report*.

New Driveway Trips (F-H):	10		[I]
Trip Distribution (% exiting):	52%		[K]
Allocated Trips (I*K):	5		[L]
2-Way PM PH Service Volume (column 18):	1,480		[M]
1% of Service Volume (column 21 or M*.01):	15		[N]
Are Allocated Trips greater than 1% of the Service Volume (is L > N)?	-10	NO	[O]
Existing Total Trips (column 16):	972		[P]
Proposed Total Trips (L+P):	977		[Q]
110% of Service Volume (column 23 or M*1.10):	1,628		[R]
Are Proposed Total Trips greater than 110% of the Service Volume (is Q > R)?	-651	NO	[S]
Is the roadway segment on a designated hurricane evacuation route (column 24)?		NO	[T]

 X If "NO" for [O], [S], and [T], traffic impact is *de minimis*. No further analysis is required.

 If "YES" for [O], [S], or [T], traffic impact is non *de minimis*. Continue with PART II.

 If "YES" to [T], continue with question [U] only, in PART II below; or

 If "YES" to [O] and/or [S] only and "NO" to [T], continue with question [V] only, in PART II below.

PART II: Non De Minimis Concurrency Determination

If "YES" to [T], is the number of Proposed Total Trips greater than the Service Volume (is Q > M)?	-503	N/A	[U]
If "NO" to [T], is the number of Proposed Total Trips greater than 110% of the Service Volume (is Q > R)?	-651	N/A	[V]

 X If "NO," the roadway segment meets the test for concurrency. No further analysis required.

 If "YES," identify which method will be used to maintain the adopted Level of Service:

- applying applicable trip reduction methods for service or commercial developments,
- conducting a Traffic Impact Analysis Report (TIAR),
- reducing the scale or scope of the proposed project,
- withdrawing the application, or
- identifying the roadway facility as part of the Transportation Concurrency Exception Area (TCEA) in a designated redevelopment area.



Development Services Department

Building Inspections Division

3363 West Park Place
Pensacola, Florida, 32505
(850) 595-3550
Molino Office - (850) 587-5770

RECEIPT

Receipt No. : **541112**

Date Issued. : 09/22/2011

Cashier ID : VHOWENS

Application No. : PBA110900021

Project Name : CU-2011-12

PAYMENT INFO

Method of Payment	Reference Document	Amount Paid	Comment
Check	1017	\$1,050.00	App ID : PBA110900021
		\$1,050.00	Total Check

Received From : GORUM JERRELL L &

Total Receipt Amount : **\$1,050.00**

Change Due : \$0.00

APPLICATION INFO

Application #	Invoice #	Invoice Amt	Balance	Job Address
PBA110900021	633590	1,050.00	\$0.00	320 MASSACHUSETTS AVE, PENSACOLA, FL, 32505

Total Amount :

1,050.00

\$0.00

Balance Due on this/these
Application(s) as of 9/28/2011

Karen S. Spitsbergen

From: Phillip Pugh [papugh@lawpensacola.com]
Sent: Thursday, September 08, 2011 3:16 PM
To: Karen S. Spitsbergen
Cc: Andrew D. Holmer
Subject: RE: CU-2011-12

Great!

Phillip A. Pugh, Esq.
Litvak Beasley & Wilson, LLP
226 E. Government St.
Pensacola, FL 32502
850-432-9818 (office)
850-438-6654 (fax)

-----Original Message-----

From: Karen S. Spitsbergen [mailto:KSSPITSB@co.escambia.fl.us]
Sent: Thursday, September 08, 2011 3:16 PM
To: Phillip Pugh
Cc: Andrew D. Holmer
Subject: RE: CU-2011-12

\$1,050 The BCC reduced the fees on August 18, 2011.

-----Original Message-----

From: Phillip Pugh [mailto:papugh@lawpensacola.com]
Sent: Thursday, September 08, 2011 3:15 PM
To: Karen S. Spitsbergen
Cc: Andrew D. Holmer
Subject: RE: CU-2011-12

\$1,050 or \$1,500?

Phillip A. Pugh, Esq.
Litvak Beasley & Wilson, LLP
226 E. Government St.
Pensacola, FL 32502
850-432-9818 (office)
850-438-6654 (fax)

-----Original Message-----

From: Karen S. Spitsbergen [mailto:KSSPITSB@co.escambia.fl.us]
Sent: Thursday, September 08, 2011 3:00 PM
To: Phillip Pugh
Cc: Andrew D. Holmer
Subject: CU-2011-12

Please note the correct fees for the submitted conditional use application. The application cannot be processed completely until the following items are received: 1) a signed power of attorney form by either Marlon E. or Shirley L. Gorum; 2) application fee of \$1,050. Should you have any questions or concerns please contact our office at (850) 595-3549. Thank you

Florida has a very broad public records law. Under Florida law, both the content of emails and email addresses are public records. If you do not want the content of your email or your email address released in response to a public records request, do not send electronic mail to this entity. Instead, contact this office by phone or in person.

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AI-1535

Item #: 6.

Board of Adjustment

Meeting Date: 10/19/2011

Attachments

CU-2011-13

CU-2011-13



DEVELOPMENT SERVICES STAFF FINDINGS-OF-FACT

**Conditional Use Case: CU-2011-13
October 19, 2011**

I SUBMISSION DATA:

APPLICANT: Paul L. Jones Sr., agent for Freewill Ministries
PROJECT ADDRESS: 1062 & 1072 Sawyer Street
PROPERTY REFERENCE NO.: 22-1S-30-3001-000-002, -3001-000-001
ZONING DISTRICT: R-2, Single Family District
FUTURE LAND USE: MU-U, Mixed Use-Urban

II REQUESTED CONDITIONAL USE:

Applicant is requesting Conditional Use Approval to expand an existing Place of Worship use to an adjacent parcel.

III RELEVANT AUTHORITY:

Land Development Code of Escambia County, Florida (Ordinance 96-3 as amended), Section: 6.05.14.C.5

C. Conditional Use

8. Places of Worship

IV CRITERIA

Land Development Code of Escambia County, Florida (Ordinance 96-3 as amended), Section 2.05.03.

CRITERION (1)

On-site circulation. Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, on-site parking and loading, and access in case of fire or catastrophe.

CU-2011-13

FINDINGS-OF-FACT

Ingress and egress is currently via Sawyer Street.

CRITERION (2)

Nuisance. Adverse impact such as noise, glare, smoke, odor or other harmful effects (electrical interference, hazardous materials, etc.) of the conditional use on adjoining properties and properties generally in the District.

FINDINGS-OF-FACT

The proposed conditional use is not anticipated to create any adverse impacts on the adjoining properties or properties in the District.

CRITERION (3)

Solid Waste. Refuse and service areas with particular reference to concurrency requirements and items (1) and (2) above.

FINDINGS-OF-FACT

Solid waste is currently available on the subject property and will be further addressed during the site plan review process.

CRITERION (4)

Utilities. Utilities with reference to concurrency requirements, location, availability and compatibility with surrounding land uses.

FINDINGS-OF-FACT

Utilities service will need to be provided by the applicant.

CRITERION (5)

Buffers. The buffer may be a landscaped natural barrier, a natural barrier or a landscaped or natural barrier supplemented with fencing or other man-made barriers, so long as the function of the buffer and the intent of Policy FLU 1.1.9 of the Comprehensive Plan and the provisions of Section 7.01.06 of the Land Development Code are fulfilled.

FINDINGS-OF-FACT

The provisions of Section 7.01.06 of the Land Development Code require buffers to the north and east and further review during the site plan review process will be needed to ensure the buffering requirements and other performance standards have been met.

CRITERION (6)

Signs. Signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the District.

FINDINGS-OF-FACT

Any signs for the subject parcel must be permitted and meet the requirements of LDC Article 8 Signage.

CRITERION (7)

Environment impact. Impacts to protected trees, wetlands, water bodies, stormwater management or other natural features of the subject parcel.

FINDINGS-OF-FACT

The proposed conditional use should not create any new adverse environmental impacts. Should an expansion be considered in the future, the environmental impacts will be addressed during the site plan review process.

CRITERION (8)

Neighborhood impact. General compatibility with adjacent properties and other property in the immediate area.

FINDINGS-OF-FACT

The proposed request is compatible with adjacent properties and other property in the immediate area.

CRITERION (9)

Other requirements of Code. The proposed Conditional Use is consistent with all other relevant provisions of this Code.

FINDINGS-OF-FACT

LDC 6.08.00.H

Places of worship

1. Sites shall be located within more highly accessible portions of residential

Districts near arterials or collectors so as to discourage traffic along local residential streets of the impacted area.

2. No main or accessory building shall be located within 25 feet of any side or rear lot line.
3. The scale, intensity and operation of the use shall not generate unreasonable noise, traffic, congestion or other potential nuisances or hazards to contiguous residential properties.

Any development associated with this Conditional Use must meet the additional standards in this criterion and will be further reviewed during the site plan review process.

V RECOMMENDATION

Staff recommends that the Board approve the proposed Conditional Use with the following condition:

- Site plan approval by the Development Review Committee

These findings are based solely on the information available to staff as submitted by the applicant.

BUSH ST

POWELL ST

W HOOD DR

E HOOD DR

COVE AVE

FOWLER AVE

J E BOYD LN

CARO ST

CARO ST

PECAN

W BARBER ST

BARMEL ST

VIRGO RD

FIGLAND AVE

HANNAH ST

ORANGE AVE

ROSE AVE

WALNUT AVE

RYAN AVE

CHERRY AVE

MAYFLOWER AVE

JUNIPER AVE

RAWLS AVE

POND AVE

VANCE AVE

DUDLEY AVE

W-DETROIT-BLVD

DURAND AVE

RANGER DR

TORTUGA DR

MAPLEWOODS CIR

GARDENIA CIR

SHAW AVE

JONES ST

ELLIOTT ST

GERMAIN ST

PORTLAND ST

RULE ST

PRICE ST

BATILLA AVE

REGIMENT AVE

BROAD ST

PITTMAN AVE

CHAPPIE PL

UNITY CT

FIESTA RD

AARON DR

AMBERIDGE RD

CASTLEGATE DR

UNTREINER AVE

KERSHAW ST

SUMPTER ST

BROAD ST

TOWER DR

INTERSTATE-10

INTERSTATE-10 RAMP

LEPLEY RD

BASIN ST

KRAMER ST

BOLIVIA ST

INTERSTATE-10

KERSHAW ST

W HOPE DR

BENSACOLA BLVD

COBBLN

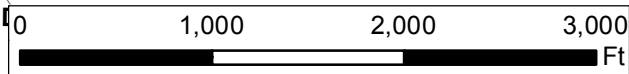
INTERSTATE-10 RAMP

CORA LN



CU-2011-13

LOCATION MAP



- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

KYLE



GERMAIN ST

UNTREINER AVE

SAWYER ST

PORTLAND ST

CU-2011-13 AERIAL MAP



-  PRINCIPAL ARTERIAL
-  MINOR ARTERIAL
-  COLLECTOR
-  LOCAL ROAD
-  PARCELS



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.



MAPLE WOODS DR

TORTUGA DR

MU-U

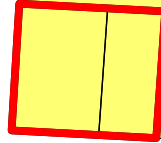
MAPLE WOODS CIR

ELLIOTT ST

MU-U

UNTREINER AVE

GERMAIN ST



SAWYER ST

PORTLAND ST

MU-U

RULE ST

CHAVERS ST

MU-U

MU-U

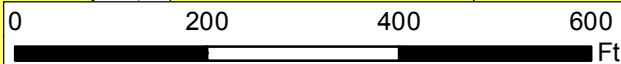
BROAD ST



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Andrew Holmer
Planning and Zoning Dept.

CU-2011-13 FUTURE LAND USE



- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD
- PARCELS



MAPLE WOODS DR

TORTUGA DR

R-2

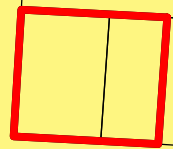
MAPLE WOODS CIR

ELLIOTT ST

R-2

UNTREINER AVE

GERMAIN ST



SAWYER ST

PORTLAND ST

R-2

RULE ST

CHAVERS ST

R-2

SDD

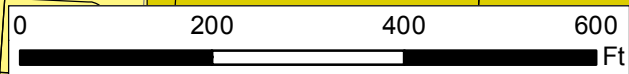
BROAD ST R-5



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Andrew Holmer
Planning and Zoning Dept.

CU-2011-13 500' RADIUS ZONING



- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD
- PARCELS

BUSH ST

POWELL ST

W HOOD DR

E HOOD DR

COVE AVE

FOWLER AVE

J E BOYD LN

CARO ST

CARO ST

PECAN

W BARBER ST

BARMEL ST

VIRGO RD

DORIS AVE

HANNAH ST

N PALAFOX ST

FIGLAND AVE

ROSE AVE

WALNUT AVE

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MAYFLOWER AVE

JUNIPER AVE

RAWLS AVE

POND AVE

VANCE AVE

DUDLEY AVE

W DETROIT BLVD

DURAND AVE

RANGER DR

TORTUGA DR

MAPLEWOODS CIR

GARDENIA CIR

CHERRY AVE

SHAW AVE

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INTERSTATE 10 RAMP

LEPLEY RD

BASIN ST

KRAMER ST

BOLIVIA ST

INTERSTATE 10

KERSHAW ST

W HOPE DR

BENSACOLA BLVD

COBBLN

INTERSTATE 10 RAMP

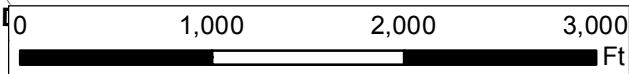
CORA LN



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Andrew Holmer
Planning and Zoning Dept.

CU-2011-13 LOCATION MAP



- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD

Freewill Ministries

Bishop Paul L. Jones, Sr. and Co-Pastor Sharon D. Jones
"A Church Where Shackles Are Broken"



September 9, 2011

Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505

Subject: Conditional Use for Freewill Ministries
1062 & 1072 Sawyer Street
Pensacola, FL 32534

To Whom It May Concern:

Freewill Ministries is located at 1062 & 1072 Sawyer Street. This church plans to open an Educational Learning Center for children, teens and adults. The Educational Learning Center will occupy existing classrooms and nursery within the building. Educational facilities are allowed in R-2 zoning districts as a conditional use. The criteria which are listed in the Escambia county application are as follow:

1. On-site circulation: The entrance will be the driveway at the northwest corner of Sawyer and existing back onto the northwest of Unteiner.
2. Nuisance: No impact of noise, glare, smoke, odor or other harmful effects with this project are not anti painted.
3. Solid Waste: No solid waste is located on this site. Emerald Coast Utilities dispose of trash will continue.
4. Utilities: the utilities are provided by the following: Gulf Power Company, AT & T and Emerald Coast utilizes for water and sewer.
5. Buffers: The project was constructed recently enough to have current Escambia County Land Development Code required landscaping and buffers in place.
6. Signs: An existing signs located at the northwest corner near driveway approximately 10 feet back from the right-of-way. The existing sign will be mortified announcing the Educational Learning Center all permitted by Escambia County.
7. Environmental Impact: No construction is planned therefore no environmental impact.
8. Neighborhood Impact: The impact to the neighborhood is a positive one. This educational learning center will bring additional choices for parents with children and teens, and expand educational opportunities for the adults.
9. Other requirement of code: It is understood there are other codes governing a project of this nature and that other permits may be require.

If you any question, please contact our office at 494-2442. Thank you for your assistance in this matter.

Sincerely,

Paul L. Jones, Sr.

State of Florida
County of Escambia

The foregoing instrument was acknowledged before me this 9 day of Sept year of 2011 by Paul Jones, who did did not take an oath. He/she personally know to me produced Florida/other driver's license and /or produced current _____ as identification.

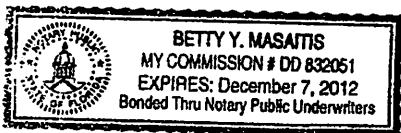
Signature of Notary

Betty Y. Masatis
Name of Notary Printed

12/07/2012
My Commission Expires

Commission No. (Notary Seal)

1072 Sawyer Street • Pensacola, FL 32534 • (850) 494-2442
www.freewillministries.org



APPLICATION

Please check application type: Conditional Use Request for: FREEWILL Ministries Educational Learning Center

Administrative Appeal Variance Request for: _____

Development Order Extension Rezoning Request from: _____ to: _____

Name & address of current owner(s) as shown on public records of Escambia County, FL

Owner(s) Name: FREEWILL Ministries Phone: 494-2442

Address: 1062 & 1072 Sawyer St Email: preach@eol.com

Check here if the property owner(s) is authorizing an agent as the applicant and complete the Affidavit of Owner and Limited Power of Attorney form attached herein.

Property Address: 1062 & 1072 Sawyer Street Pensacola, FL 32534

Property Reference Number(s)/Legal Description: 22-13-30-1

By my signature, I hereby certify that:

- 1) I am duly qualified as owner(s) or authorized agent to make such application, this application is of my own choosing, and staff has explained all procedures relating to this request; and
- 2) All information given is accurate to the best of my knowledge and belief, and I understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application; and
- 3) I understand that there are no guarantees as to the outcome of this request, and that the application fee is non-refundable; and
- 4) I authorize County staff to enter upon the property referenced herein at any reasonable time for purposes of site inspection and authorize placement of a public notice sign(s) on the property referenced herein at a location(s) to be determined by County staff; and
- 5) I am aware that Public Hearing notices (legal ad and/or postcards) for the request shall be provided by the Development Services Bureau.

[Signature]
Signature of Owner/Agent

Paul L. Jones, Sr
Printed Name Owner/Agent

9/9/11
Date

Signature of Owner

Printed Name of Owner

Date

STATE OF Florida

COUNTY OF Escambia

The foregoing instrument was acknowledged before me this 9 day of Sept 20 11 by Paul Jones

Personally Known OR Produced Identification . Type of Identification Produced:

Betty Y Masatis
Signature of Notary
(notary seal must be affixed)

Printed Name of Notary



FOR OFFICE USE ONLY

CASE NUMBER: PU-2011-13

Meeting Date(s): 10-19-11

Accepted/Verified by: KSS/ADH

Date: 9/22/11

Fees Paid: \$ 1050.00 Receipt #: _____

Permit #: PBA 1109000 23

CONCURRENCY DETERMINATION ACKNOWLEDGMENT

For Rezoning Requests Only

Property Reference Number(s): 22-15-30-1

Property Address: 10624072 Sawyer St Pensacola, FL 32534

I/We acknowledge and agree that no future development for which concurrency of required facilities and services must be certified shall be approved for the subject parcel(s) without the issuance of a certificate of concurrency for the development based on the actual densities and intensities proposed in the future development's permit application.

I/We also acknowledge and agree that approval of a zoning district amendment (rezoning) or Future Land Use Map amendment does not certify, vest, or otherwise guarantee that concurrency of required facilities and services is, or will be, available for any future development of the subject parcels.

I/We further acknowledge and agree that no development for which concurrency must be certified shall be approved unless at least one of the following minimum conditions of the Comprehensive Plan will be met for each facility and service of the County's concurrency management system prior to development approval:

- a. The necessary facilities or services are in place at the time a development permit is issued.
- b. A development permit is issued subject to the condition that the necessary facilities and services will be in place and available to serve the new development at the time of the issuance of a certificate of occupancy.
- c. For parks and recreation facilities and roads, the necessary facilities are under construction at the time the development permit is issued.
- d. For parks and recreation facilities, the necessary facilities are the subject of a binding executed contract for the construction of the facilities at the time the development permit is issued and the agreement requires that facility construction must commence within one year of the issuance of the development permit.
- e. The necessary facilities and services are guaranteed in an enforceable development agreement. An enforceable development agreement may include, but is not limited to, development agreements pursuant to Section 163.3220, F.S., or as amended, or an agreement or development order issued pursuant to Chapter 380, F.S., or as amended. For transportation facilities, all in-kind improvements detailed in a proportionate fair share agreement must be completed in compliance with the requirements of Section 5.13.00 of the LDC. For wastewater, solid waste, potable water, and stormwater facilities, any such agreement will guarantee the necessary facilities and services to be in place and available to serve the new development at the time of the issuance of a certificate of occupancy.
- f. For roads, the necessary facilities needed to serve the development are included in the first three years of the applicable Five-Year Florida Department of Transportation (FDOT) Work Program or are in place or under actual construction no more than three years after the issuance of a County development order or permit.

I HEREBY ACKNOWLEDGE THAT I HAVE READ, UNDERSTAND AND AGREE WITH THE ABOVE STATEMENT ON THIS 9th DAY OF September, YEAR OF 2011.


Signature of Property Owner

Paul L. Jones, Sr.
Printed Name of Property Owner

9/9/11
Date

Signature of Property Owner

Printed Name of Property Owner

Date

State of Florida



Department of State

I certify the attached is a true and correct copy of the Articles of Amendment, filed on April 6, 2001, to Articles of Incorporation for FREEWILL CHURCH OF GOD IN CHRIST, INC. which changed its name to FREEWILL MINISTRIES, INC., a Florida corporation, as shown by the records of this office.

The document number of this corporation is N25029.

Given under my hand and the
Great Seal of the State of Florida
at Tallahassee, the Capitol, this the
Eleventh day of April, 2001



CR2EO22 (1-99)

Katherine Harris

Katherine Harris
Secretary of State



Chris Jones

Escambia County Property Appraiser

[Real Estate Search](#) |
 [Tangible Property Search](#) |
 [Amendment 1 Calculations](#)

[Back](#)

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 Account
 Reference

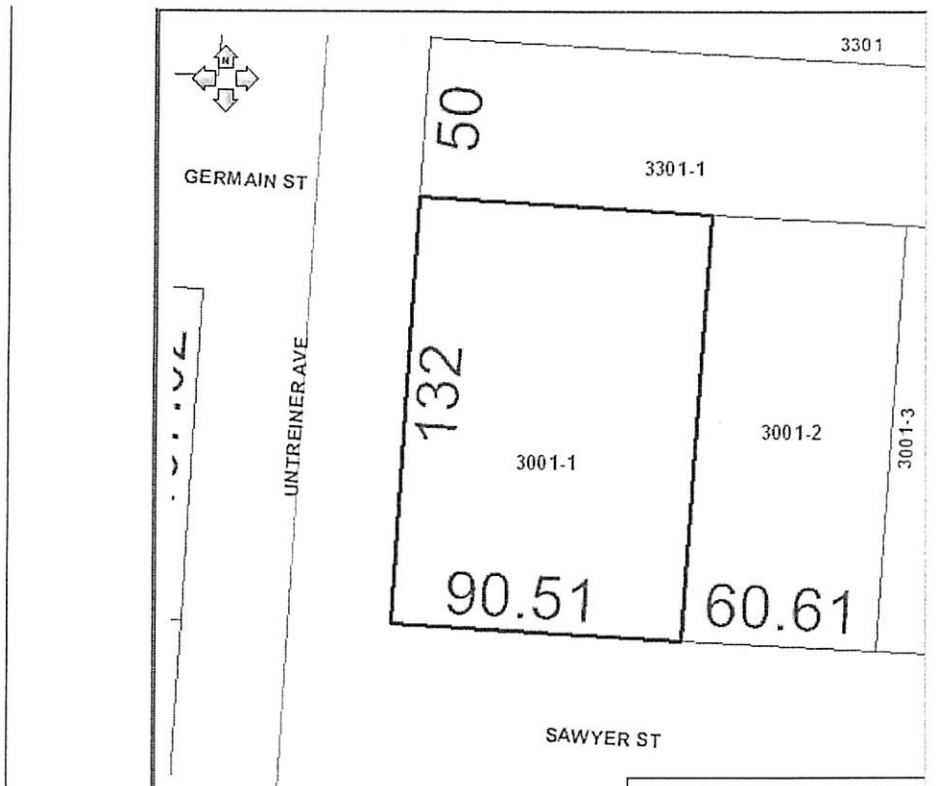
[Printer Friendly Version](#)

<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2" style="text-align: left;">General Information</th> </tr> <tr> <td>Reference:</td> <td>221S303001000001</td> </tr> <tr> <td>Account:</td> <td>030289000</td> </tr> <tr> <td>Owners:</td> <td>FREEWILL MINISTRIES INC</td> </tr> <tr> <td>Mail:</td> <td>1072 SAWYER ST PENSACOLA, FL 32534</td> </tr> <tr> <td>Situs:</td> <td>1072 SAWYER 32534</td> </tr> <tr> <td>Use Code:</td> <td>CHURCH <input type="button" value="↗"/></td> </tr> <tr> <td>Taxing Authority:</td> <td>COUNTY MSTU</td> </tr> <tr> <td>Tax Inquiry:</td> <td>Open Tax Inquiry Window</td> </tr> <tr> <td colspan="2">Tax Inquiry link courtesy of Janet Holley, Escambia County Tax Collector</td> </tr> </table>	General Information		Reference:	221S303001000001	Account:	030289000	Owners:	FREEWILL MINISTRIES INC	Mail:	1072 SAWYER ST PENSACOLA, FL 32534	Situs:	1072 SAWYER 32534	Use Code:	CHURCH <input type="button" value="↗"/>	Taxing Authority:	COUNTY MSTU	Tax Inquiry:	Open Tax Inquiry Window	Tax Inquiry link courtesy of Janet Holley, Escambia County Tax Collector		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2" style="text-align: left;">2011 Certified Roll Assessment</th> </tr> <tr> <td>Improvements:</td> <td style="text-align: right;">\$45,854</td> </tr> <tr> <td>Land:</td> <td style="text-align: right;">\$8,978</td> </tr> <tr> <td>Total:</td> <td style="text-align: right;">\$54,832</td> </tr> <tr> <td>Save Our Homes:</td> <td style="text-align: right;">\$0</td> </tr> <tr> <td colspan="2" style="text-align: center;">Disclaimer</td> </tr> <tr> <td colspan="2" style="text-align: center;">Amendment 1 Calculations</td> </tr> </table>	2011 Certified Roll Assessment		Improvements:	\$45,854	Land:	\$8,978	Total:	\$54,832	Save Our Homes:	\$0	Disclaimer		Amendment 1 Calculations	
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Extra Features																					
None																					

Parcel Information [Restore Map](#) [Get Map Image](#) [Launch Interactive Map](#)

<p>Section Map Id: 22-1S-30-1</p> <p>Approx. Acreage: 0.2800</p> <p>Zoned: <input type="button" value="↗"/> R-2</p>	
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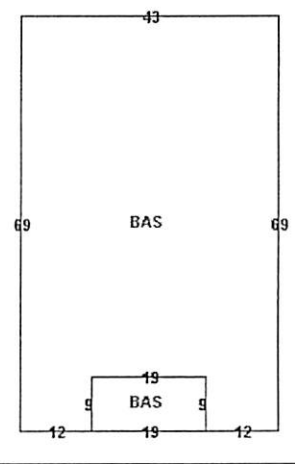


Buildings

Building 1 - Address:1072 SAWYER, Year Built: 1960, Effective Year: 1960

Structural Elements

FOUNDATION-WOOD/SUB FLOOR
 EXTERIOR WALL-CONCRETE BLOCK
 NO. PLUMBING FIXTURES-6.00
 ROOF FRAMING-GABLE
 ROOF COVER-DIMEN/ARCH SHNG
 INTERIOR WALL-CEILING FN ONLY
 FLOOR COVER-CARPET
 NO. STORIES-1.00
 FLOOR COVER-VINYL/CORK
 DECOR/MILLWORK-BELOW AVERAGE
 HEAT/AIR-CENTRAL H/AC
 STRUCTURAL FRAME-MASONRY PIL/STL



Areas - 2967 Total SF
 BASE AREA - 2967

Images



10/09/06

The primary use of the assessment data is for the preparation of the current year tax roll. No responsibility or liability is assumed for inaccuracies or errors.

Last Updated:08/30/2011 (tc.2629)



Chris Jones

Escambia County Property Appraiser

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 [Amendment 1 Calculations](#)

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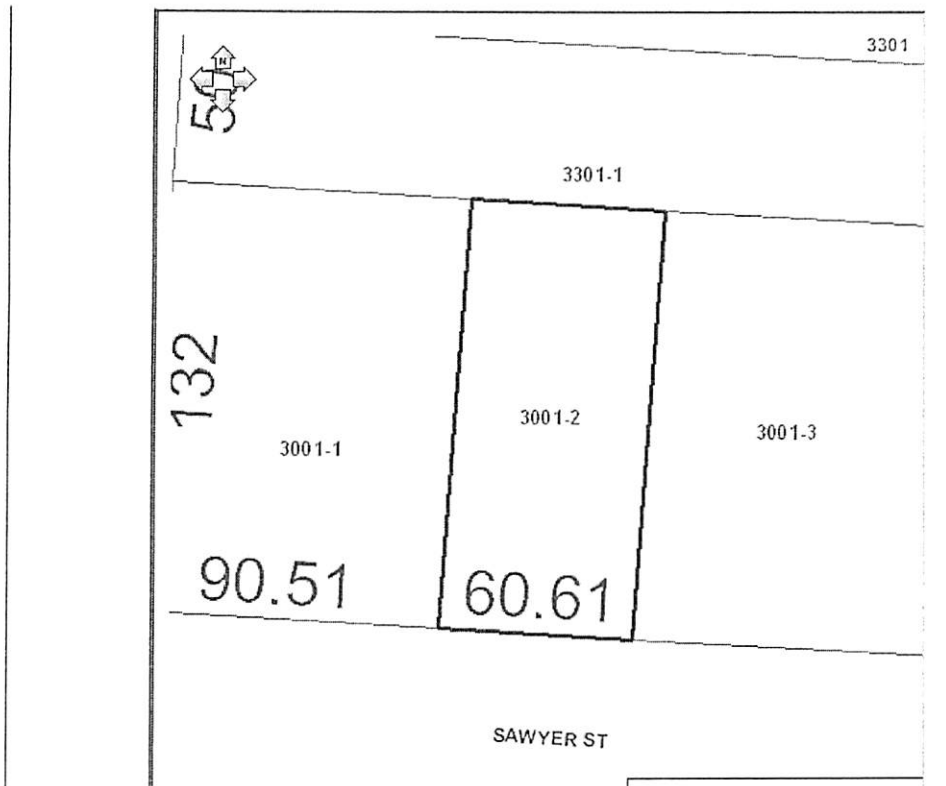
[Navigate Mode](#)
 [Account](#)
 [Reference](#)
 [\[P\]](#)

[Printer Friendly Version](#)

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Parcel Information	
<p style="text-align: right;">Restore Map</p> <p style="text-align: right;">Get Map Image Launch Interactive Map</p> <p>Section Map Id: <u>22-1S-30-1</u></p> <p>Approx. Acreage: 0.1800</p> <p>Zoned: <input type="checkbox"/> R-2</p>	



Buildings

Building 1 - Address:1062 SAWYER ST, Year Built: 1979, Effective Year: 1979

Structural Elements

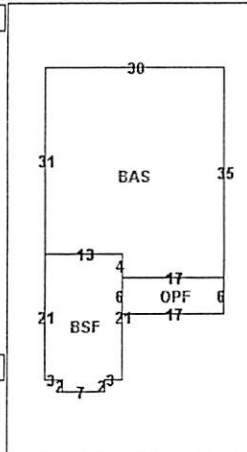
FOUNDATION-WOOD/SUB FLOOR
 EXTERIOR WALL-BRICK-FACE
 NO. PLUMBING FIXTURES-3.00
 DWELLING UNITS-1.00
 ROOF FRAMING-HIP
 ROOF COVER-COMPOSITION SHG
 INTERIOR WALL-DRYWALL-PLASTER
 FLOOR COVER-HARDWOOD/PARQET
 NO. STORIES-1.00
 FLOOR COVER-CARPET
 DECOR/MILLWORK-AVERAGE
 HEAT/AIR-CENTRAL H/AC
 STRUCTURAL FRAME-WOOD FRAME

Areas - 1387 Total SF

BASE AREA - 998

BASE SEMI FIN - 287

OPEN PORCH FIN - 102



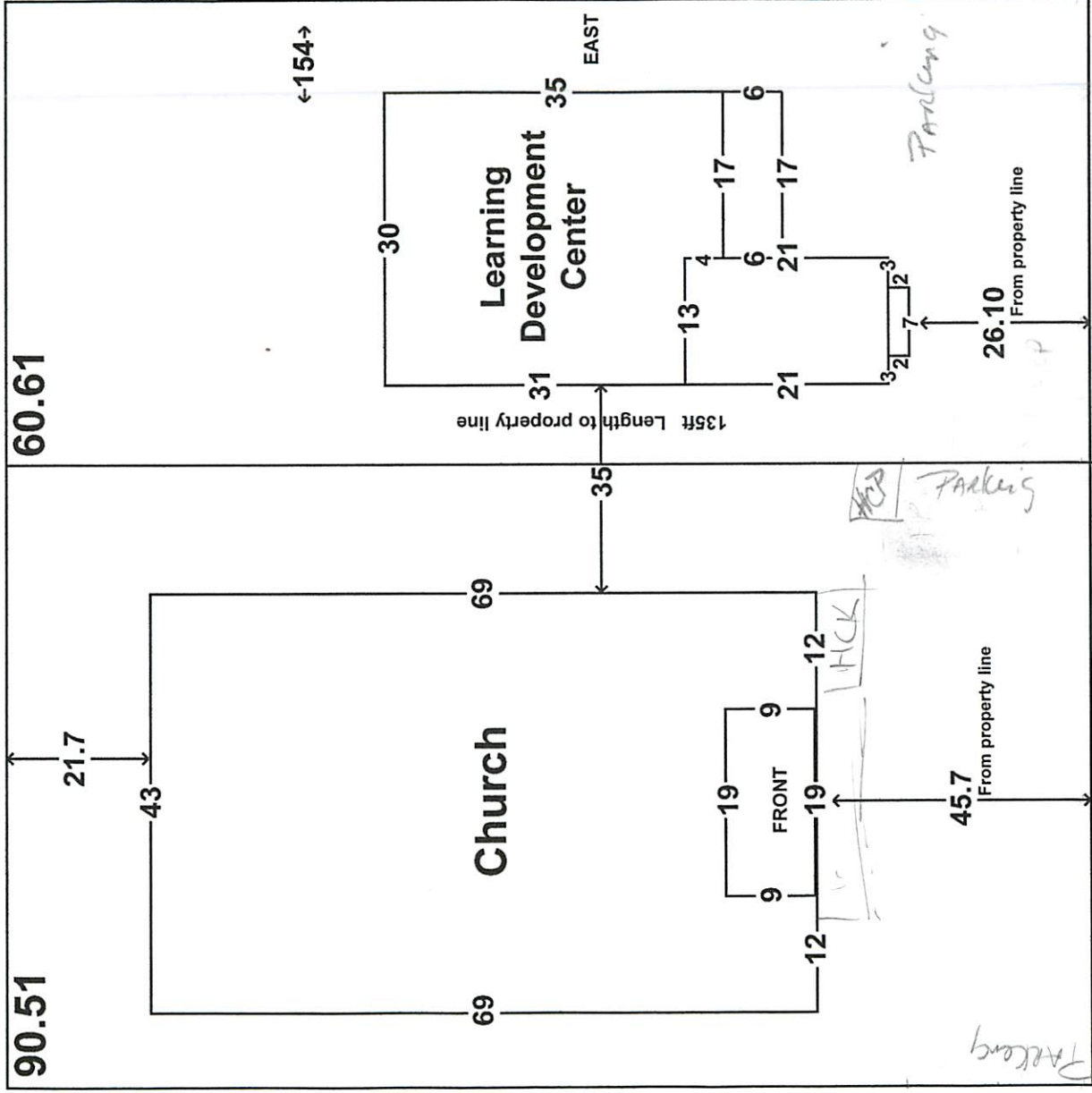
Images

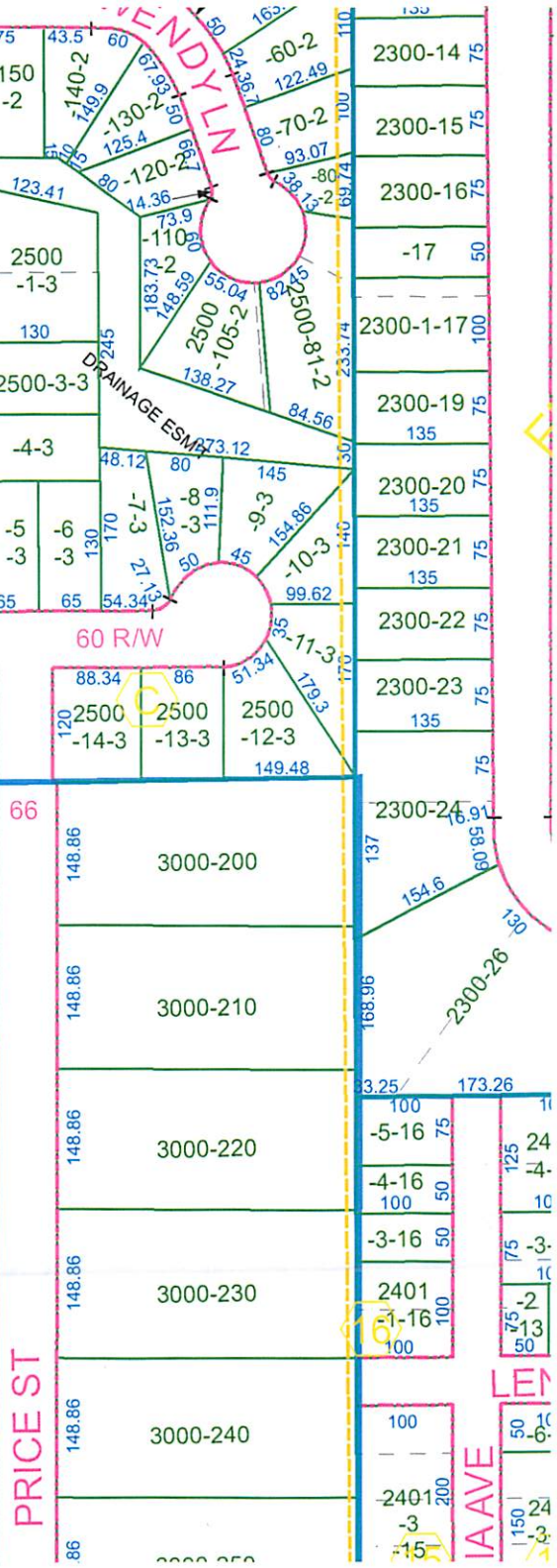
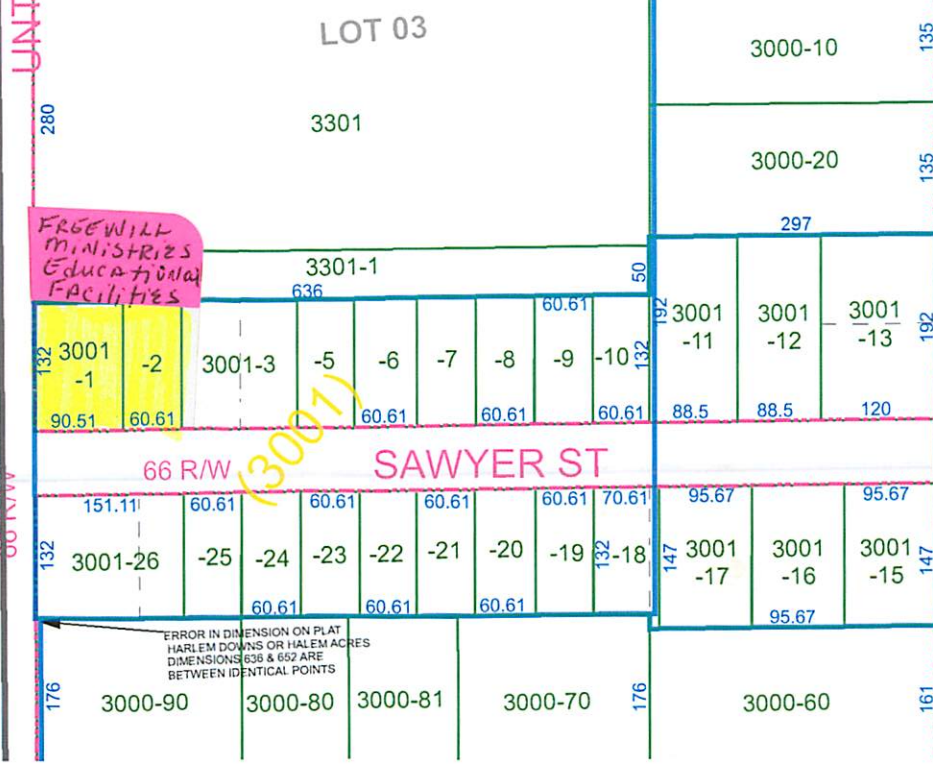
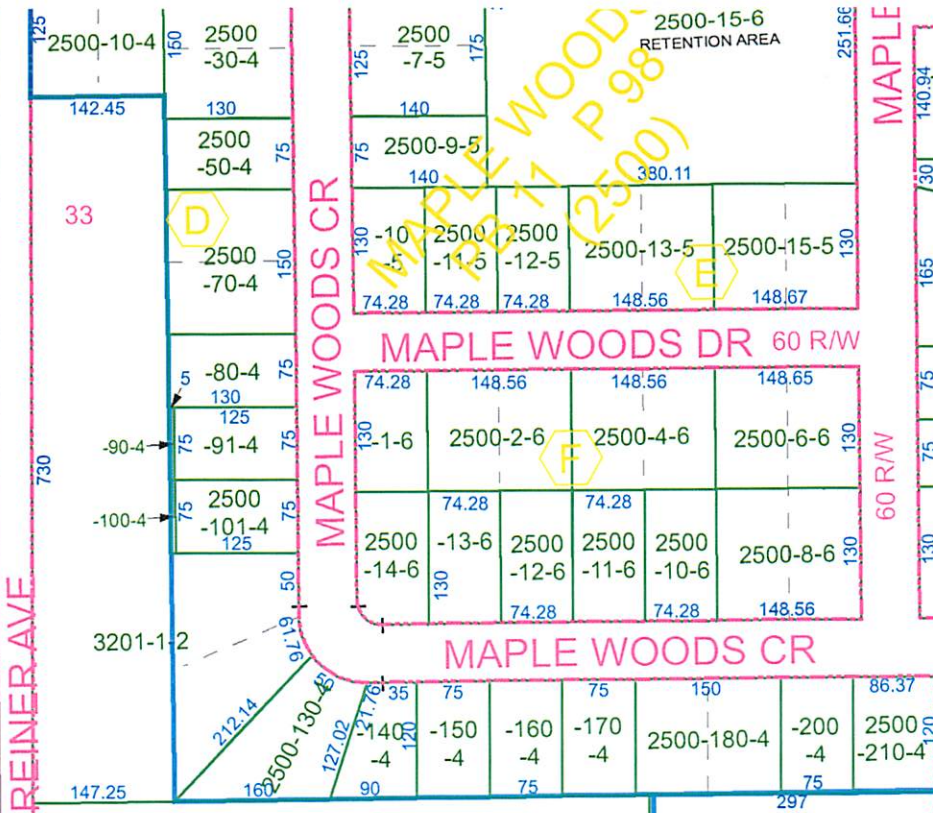
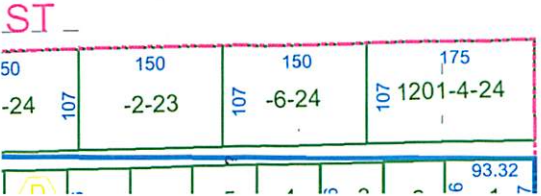
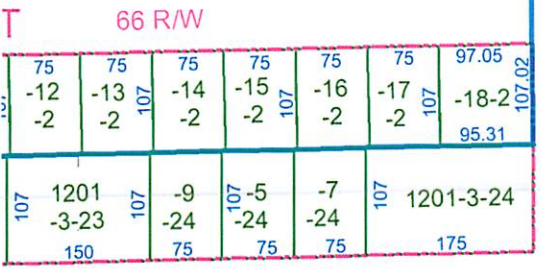
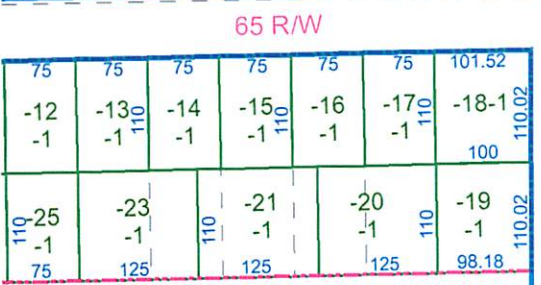
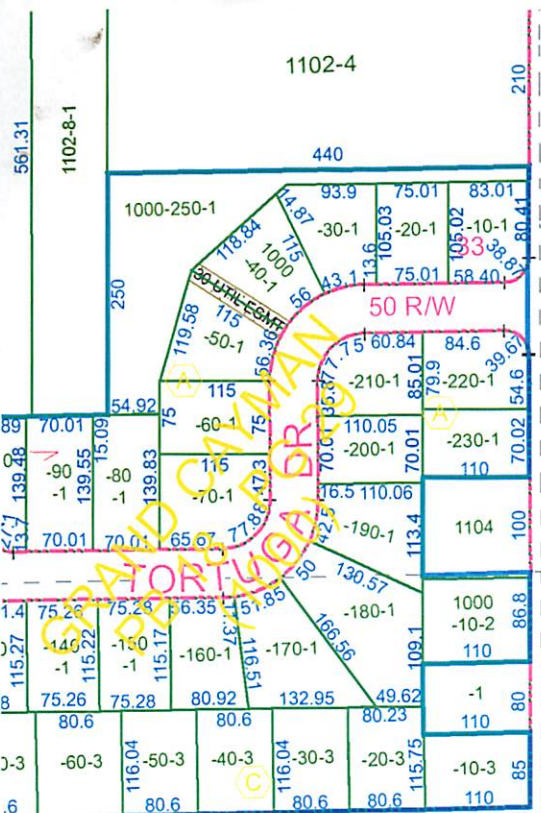


05/29/02

The primary use of the assessment data is for the preparation of the current year tax roll. No responsibility or liability is assumed for inaccuracies or errors.

Last Updated:06/04/2011 (tc.6670)





FREEWILL
MINISTRIES
Educational
Facilities

ERROR IN DIMENSION ON PLAT
HARLEM DOANS OR HALEM ACRES
DIMENSIONS 638 & 652 ARE
BETWEEN IDENTICAL POINTS

MAPLE WOOD
P 98
(2500)

3007

AAVE
150
24
-3
-1

APPLICATION ATTACHMENTS CHECKLIST

- 1. For BOA, original letter of request, typed or written in blue ink & must include the reason for the request and address all criteria for the request as outlined in LDC Article 2.05 (dated, signed & notarized – notarization is only necessary if an agent will be used).
- 2. Application/Owner Certification Form - Notarized Original (page 1) (signatures of ALL legal owners or authorized agent are required)
- 3. Concurrency Determination Acknowledgment form - Original (if applicable) (page 2)
- 4. Affidavit of Owner & Limited Power of Attorney form - Notarized Original (if applicable) (page 3) (signatures of ALL legal owners are required)
- 5. Legal Proof of Ownership (e.g. copy of Tax Notice or Warranty Deed). Include Corporation/LLC documentation or a copy of Contract for Sale if applicable.
- 6. Legal Description of Property Street Address / Property Reference Number
- 7.
 - a. Rezoning: Boundary Survey of subject property to include total acreage, all easements, and signed & sealed by a surveyor registered in the state of Florida.
 - b. BOA: Site Plan drawn to scale.
- 8. For Rezoning requests: If the subject parcel does not meet the roadway requirements of Locational Criteria (Comprehensive Plan 1.1.10 & LDC 7.20.00.), a compatibility analysis to request a waiver or an exemption to the roadway requirements will need to be submitted as part of the application.
- 9. Pre-Application Summary Form, Referral Form, Zoning Verification Request Form and/or copy of citation from Code Enforcement Department if applicable.
- 10. Application fees. (See Instructions page for amounts) Payment cannot be accepted after 3:00pm.

Please note: Forms with signatures dated more than sixty (60) days prior to application submittal will not be accepted as complete.

Please make the following three appointments with the Coordinator.

Appointment for pre-application meeting: 9-14-11

Appointment to turn in application: 9-9-11

Appointment to receive findings-of-fact: _____